



**ENVIRONMENT, REGENERATION AND STREETSCENE SERVICES
CABINET BOARD**

**IMMEDIATELY FOLLOWING SCRUTINY COMMITTEE
FRIDAY, 22 JULY 2022**

**MULTI-LOCATION MEETING – COUNCIL CHAMBER PORT TALBOT
AND MICROSOFT TEAMS**

**ALL MOBILE TELEPHONES TO BE SWITCHED TO SILENT FOR THE
DURATION OF THE MEETING**

Webcasting/Hybrid Meetings:

This meeting may be filmed for live or subsequent broadcast via the Council's Internet Site. By participating you are consenting to be filmed and the possible use of those images and sound recordings for webcasting and/or training purposes.

Part 1

1. Appointment of Chairperson
2. Chairpersons Announcement/s
3. Declarations of Interest
4. Forward Work Programme 2022/2023 (Pages 5 - 10)
5. Public Question Time

Questions must be submitted in writing to Democratic Services, democratic.services@npt.gov.uk no later than noon on the working day prior to the meeting. Questions must relate to items on the agenda. Questions will be dealt with in a 10 minute

period.

6. Commercial Property Grant: Water Street Business Centre, Port Talbot (*Pages 11 - 24*)
7. Commercial Property Grant: Units 1 and 2 Commercial Buildings, Talbot Road, Port Talbot (*Pages 25 - 38*)
8. Commercial Property Grant: 20 Queen Street, Neath (*Pages 39 - 54*)
9. Incorporation Of Council Land Into The Highway (*Pages 55 - 64*)
10. Neath Port Talbot CBC Highway Technical Design Guide for Residential, Commercial and Industrial Developments (*Pages 65 - 84*)
11. Bevans Terrace Retaining Wall Reconstruction (*Pages 85 - 108*)
12. Norton Terrace Retaining Wall Reconstruction (*Pages 109 - 132*)
13. Urgent Items
Any urgent items (whether public or exempt) at the discretion of the Chairperson pursuant to Statutory Instrument 2001 No. 2290 (as amended).
14. Access to Meetings - Exclusion of the Public (*Pages 133 - 138*)
To resolve to exclude the public for the following items pursuant to Regulation 4 (3) and (5) of Statutory Instrument 2001 No. 2290 and the relevant exempt paragraphs of Part 4 of Schedule 12A to the Local Government Act 1972.

Part 2

15. Proposed Release of a Restrictive Covenant and Disposal of Adjoining Land (Exempt Under Paragraph 14) (*Pages 139 - 150*)

K.Jones
Chief Executive

Civic Centre
Port Talbot

Thursday, 14 July 2022

Environment, Regeneration and Streetscene Services Cabinet Board Members:

Councillors. W.F.Griffiths, S.Jones and D.M.Peters

Notes:

(1) If any Cabinet Board Member is unable to attend, any other Cabinet Member may substitute as a voting Member on the Committee. Members are asked to make these arrangements direct and then to advise the committee Section.

(2) The views of the earlier Scrutiny Committee are to be taken into account in arriving at decisions (pre decision scrutiny process).

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FORWARD WORK PROGRAMME

2022 - 2023

Environment, Regeneration and Streetscene Services Cabinet Board

Immediately following the Scrutiny Committee at 2pm

Meeting Date	Agenda Item	Type	Contact Officer
16 th September	National Underground Assets Register	Decision	Mike Roberts
	Traffic Regulation Orders (Various)	Decision	Dave Griffiths
	Swansea Bay City Deal – South Wales Industrial Transition from Carbon Hub (moved from the 22 nd July)	Decision	Lisa Willis

Meeting Date	Agenda Item	Type	Contact Officer
14th April	Highways and Engineering Works Programme 2023/2024	Decision	Mike Roberts
	Highways Asset Management Plan Update	Decision	Mike Roberts

Page

Meeting Date	Agenda Item	Type	Contact Officer
26th May			

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Cyngor Castell-nedd Port Talbot
Neath Port Talbot Council

NEATH PORT TALBOT COUNTY BOROUGH COUNCIL

Environment, Regeneration & Streetscene Services Cabinet Board

22nd July 2022

Report of the Head of Property and Regeneration – S. Brennan

Matter for Decision,

Wards Affected: Aberavon

COMMERCIAL PROPERTY GRANT: WATER STREET BUSINESS CENTRE, PORT TALBOT

Purpose of the Report:

To obtain authority under the Commercial Property Grant scheme, to grant aid external improvement works to the commercial property named above.

Executive Summary:

The proposal is to part fund improvements to the external appearance of Water Street Business Centre, the former Port Talbot Heath Centre that now provides office space to accommodate small businesses. The proposed works will significantly improve the visual appearance of this prominent building and will do much to enhance the character of this part of Aberavon, as well as the surrounding area of Port Talbot.

The overall scheme includes the internal refurbishment of the offices, new rainwater goods, the painting of exposed concrete sections and pillars, painting of existing ground floor windows, additional outside signage, CCTV and external lighting.

External works, for which Commercial Property Grant assistance is sought, include the installation of aluminium windows and doors as well as new illuminated signage and cladding to the existing lighting and fascias

This work will improve the quality of the built environment to attract further economic investment to the area while safeguarding this significant supply of employment floorspace in to the future.

Background:

Historically the Commercial Property Grant initiative has been part funded by the Authority under the provisions of the Local Government Act 2000, with provision made within the Neath Port Talbot Regeneration Capital Programme for borough-wide projects that target specific commercial centres, Communities First areas and Neighbourhood Renewal Areas.

Provision of £232,000 has been made available for Commercial Property Grant schemes within the 2022/23 Regeneration Capital Programme.

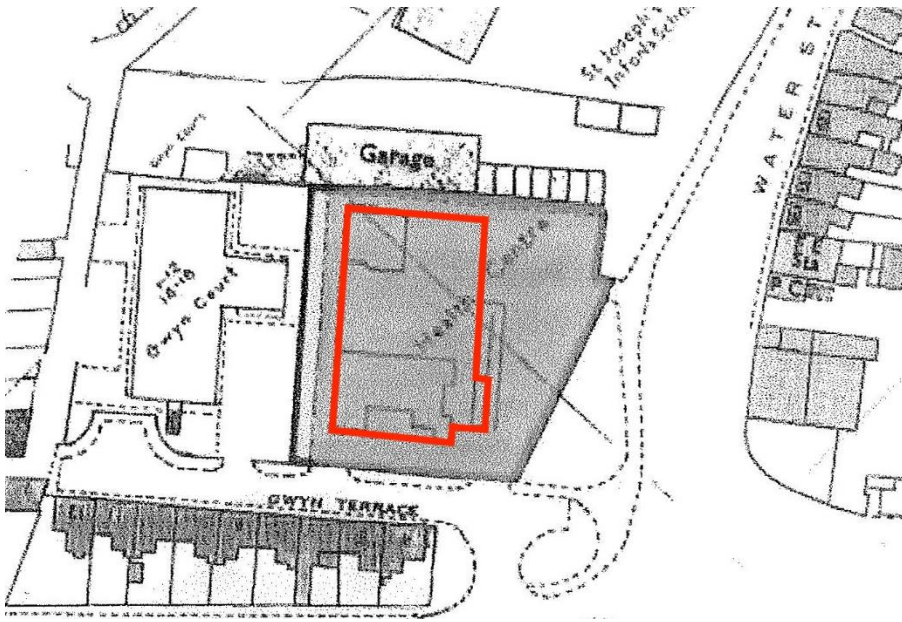
Conditions applicable to the following project will be issued in accordance with the agreed terms for the scheme.

PROPOSAL

Property Address:

Water Street Business Centre (registered as Port Talbot Health Centre)
Gwyn Terrace
Port Talbot
SA12 6HR

Location Plan:



Brief Description of works:

Existing Water Street frontage



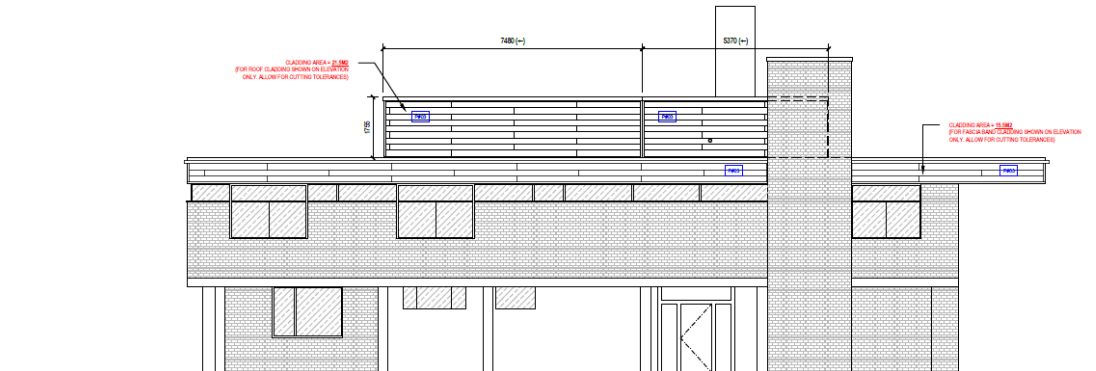
Existing side elevation



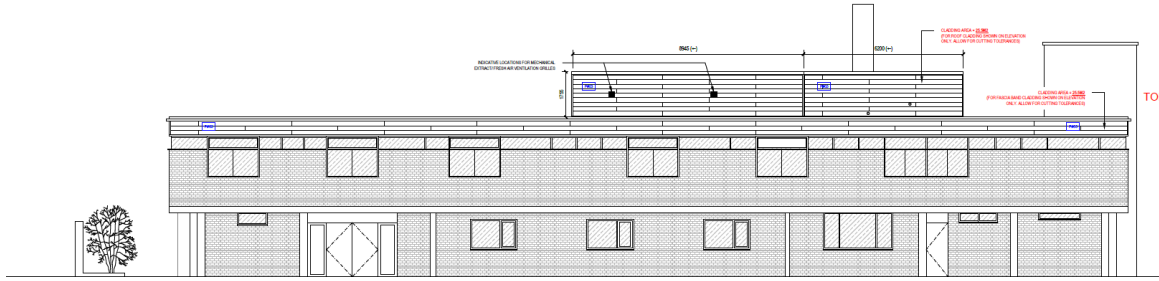
Proposed Elevations from planning consent Ref: P2022/0041



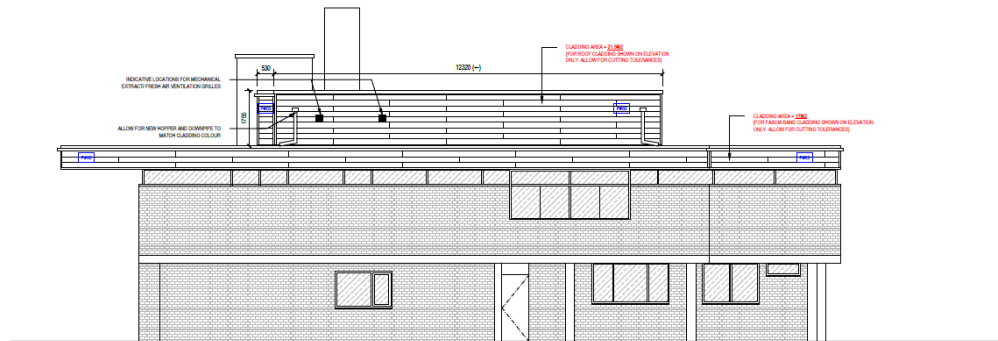
PROPOSED ELEVATION A
SCALE 1:150



PROPOSED ELEVATION B
SCALE 1:150



PROPOSED ELEVATION C
SCALE 1:150



PROPOSED ELEVATION D
SCALE 1:150

- Water Street Business Centre is a detached two-storey building with onsite car parking. Built in 1972 as a Health Centre it is currently used as offices that are let to a number of small businesses/organisations targeting sole traders and start-ups to encourage business growth for the local area.
- The original building has single glazed crittall windows on the first floor with a low energy efficiency.
- It is proposed to replace the three ground floor doors and the first floor windows with powdercoated aluminium framed double glazed windows, install new signage to include individual back-lit letters applied directly to the wall and also to clad to the existing rooflight and fascias.
- Relevant planning consents:
 - Cladding to existing roof light and fascia – P2022/0041
 - Advertisement consent for illuminated signage – P2021/0979

- Total Project Cost (inc eligible works & fees): £95,955.06 (ex VAT)

Proposed Grant Offer (50% intervention rate): **£ 47,977.53**

Financial Impacts:

Grant approval, subject to this report = £47,977.53

There is sufficient allocation within the Regeneration Capital Programme from which to fund this project.

Integrated Impact Assessment:

A first stage impact assessment has been undertaken to assist the Council in discharging its legislative duties (under the Equality Act 2010, the Welsh Language Standards (No.1) Regulations 2015, the Well-being of Future Generations (Wales) Act 2015 and the Environment (Wales) Act 2016.

The first stage assessment has indicated that a more in-depth assessment is not required. A summary is included below.

In line with the Neath Port Talbot IIA screening form guidance we have determined that a full IIA is not relevant.

The end users of the building will mostly be the employees of the various small businesses that occupy the offices. The general public will only have need to enter the building when invited to, should they require the services provided by the occupants

As the proposed scheme involves visual enhancements to a single building it will have a low impact on the general public of the County Borough. The proposed work will not impact the accessibility of the development.

Valleys Communities Impacts:

No implications.

Workforce Impacts:

Improved working environment for tenants.

Legal Impacts:

The Commercial Property Grant initiative has been part funded by the Authority under the provisions of the Local Government Act 2000.

Risk Management Impacts:

Risks associated with implementing the proposed recommendations:

The Council will not be responsible for any aspect of control of the Works (including for example, design, related investigations, implementation and supervision). The Applicant alone is responsible for everything relating to the Works, including all health and safety matters and for any financial losses. The Council has no legal responsibility for such matters, even if they require approval under the conditions in this manual or Grant Offer Letter.

If the project fails to complete, or does not complete in accordance with the grant terms and conditions, the grant money cannot be claimed. If the project slips over to the next financial year then it is possible that there will not be sufficient funds and the claim process will be complicated.

Risks associated with failing to implement the proposed recommendations:

If the grant is not approved the proposed refurbishment will not be carried out at that time and the locality will not benefit from the resulting regeneration impacts.

Consultation:

There is no requirement for external consultation on this item.

Recommendations:

Having given due regard to the Integrated Impact Assessment and a description of the recommendation, it is recommended that the grant be approved.

Reasons for Proposed Decision:

To implement the provisions of the Commercial Property Grant scheme in accordance with the criteria and terms of administration of the grant, in order to contribute to the regeneration of Aberavon and the wider area of Port Talbot.

Implementation of Decision:

The decision is proposed for implementation after the three day call in period.

Appendices:

- Appendix A - CPG Water Street Business Centre, Port Talbot: Integrated Impact Assessment

List of Background Papers:

None

Officer Contact:

Name: Nicola Jane Bulcraig

Designation: Strategic Development Officer

Email: n.bulcraig@npt.gov.uk

Direct dial: 01639 686683

Impact Assessment - First Stage

1. Details of the initiative

Initiative description and summary:

Commercial Property Grant to part fund external improvements to Water Street Business Centre, Port Talbot. External improvements to involve the replacement of three ground floor doors, the replacement of first floor single glazed windows for double glazed powder coated aluminium framed windows as well as the installation of new illuminated signage and cladding to the existing rooflight and fascia, to this prominent two storey detached former Heath Centre, as part of a wider scheme to refurbish the offices for letting to small local businesses. The existing single glazed windows are low energy efficiency, the proposed works will improve the energy efficiency of the building as well as improve the appearance of the building and therefore the surrounding area.

Service Area: Property & Regeneration

Directorate: Environment

2. Does the initiative affect:

	Yes	No
Service users		X
Staff		X
Wider community	X	
Internal administrative process only		X

3. Does the initiative impact on people because of their:

	Yes	No	None/ Negligible	Don't Know	Impact H/M/L	Reasons for your decision (including evidence)/How might it impact?
Age		X				Proposal is to improve the external appearance of building, it's energy efficiency and internal environment

						only. This benefits users of Neath town centre, as well as the people that use the building.
Disability		X				As above
Gender Reassignment		X				As above
Marriage/Civil Partnership		X				As above
Pregnancy/Maternity		X				As above
Race		X				As above
Religion/Belief		X				As above
Sex		X				As above
Sexual orientation		X				As above

4. Does the initiative impact on:

	Yes	No	None/ Negligible	Don't know	Impact H/M/L	Reasons for your decision (including evidence used) / How might it impact?
People's opportunities to use the Welsh language		X				Proposal is to improve the external appearance of building, it's energy efficiency and internal environment only and has no impact on the use of language
Treating the Welsh language no less favourably than English		X				As above

5. Does the initiative impact on biodiversity:

	Yes	No	None/ Negligible	Don't know	Impact H/M/L	Reasons for your decision (including evidence) / How might it impact?
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To maintain and enhance biodiversity		X				Proposal is to improve the external appearance of building, it's energy efficiency and internal environment only and has no impact on local biodiversity.
To promote the resilience of ecosystems, i.e. supporting protection of the wider environment, such as air quality, flood alleviation, etc.		X				Proposal is to improve the external appearance of building, it's energy efficiency and internal environment only and has no impact on the resilience of ecosystems.

6. Does the initiative embrace the sustainable development principle (5 ways of working):

	Yes	No	Details
Long term - how the initiative supports the long term well-being of people	X		The proposed improvement to the external appearance of Water Street Business Centre will improve the appearance of the Aberavon and wider Port Talbot area in the long-term and so improve the quality of life for those that use it.
Integration - how the initiative impacts upon our wellbeing objectives	X		The proposed work supports business to grow the local economy and attract new investment to the area. (NPTCBC Corporate Plan 2019-2022 3.1.3)
Involvement - how people have been involved in developing the initiative		X	The design changes to the building were selected by it's owner in consideration of the enjoyment of the building by it's potential users.
Collaboration - how we have worked with other services/organisations to find shared sustainable solutions		X	The project is not of sufficient scope or scale to require the involvement of other services or organisations.

<p>Prevention - how the initiative will prevent problems occurring or getting worse</p>	X		<p>The proposal will reduce the rate at which the building will deteriorate in condition and appearance, as well as contribute towards reducing the rate at which the overall appearance of the Aberavon and wider Port Talbot area deteriorates in condition and appearance. Potentially the people that use an area will treat it better, in terms of reduced rates of vandalism, graffiti and litter, if they consider the quality of their environment to be good or improving.</p>
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7. Declaration - based on above assessment (tick as appropriate):

<p>A full impact assessment (second stage) is not required</p>	√
<p>Reasons for this conclusion</p>	
<p>The proposal is to grant fund part of the cost of external improvement to a single building. The initiative embraces sustainable development by improving the condition, appearance and energy efficiency of the built environment, supporting business to grow the local economy and attract new investment to the area. The initiative does not, however, have a significant impact on any specific group of people so a full impact assessment is not required.</p>	

<p>A full impact assessment (second stage) is required</p>	
<p>Reasons for this conclusion</p>	
<p></p>	

	Name	Position	Date
Completed by	Nicola Jane Bulcraig	Strategic Development Officer	20.06.22
Signed off by	Simon Brennan	Head of Property & Regeneration	20.06.22

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Cyngor Castell-nedd Port Talbot
Neath Port Talbot Council

NEATH PORT TALBOT COUNTY BOROUGH COUNCIL

Environment, Regeneration & Streetscene Services Cabinet Board

22nd July 2022

Report of the Head of Property and Regeneration – S. Brennan

Matter for Decision,

Wards Affected: Port Talbot

COMMERCIAL PROPERTY GRANT: UNITS 1 & 2 COMMERCIAL BUILDINGS, TALBOT ROAD, PORT TALBOT

Purpose of the Report:

To obtain authority under the Commercial Property Grant scheme, to grant aid external improvement works to the commercial property named above.

Executive Summary:

The proposal is to part fund improvements to the external appearance of Units 1 & 2 Commercial Buildings on Talbot Road, a corner premises on a terrace block that has lain vacant for four years, having last been used as a Lifestyle Express Mini Mead Market convenience store.

The proposed works are part of a conversion to provide a restaurant/takeaway for “Pepe’s Piri Piri” franchise that will provide grilled chicken dishes. The proposal will improve the visual appearance of this prominent building on the main road through the town centre and will support the regeneration of this priority area by attracting pedestrian footfall and so improving the vibrancy of the evening economy.

External works, for which Commercial Property Grant assistance is sought, includes new powdercoated aluminium shopfronts and illuminated signage

This work will improve the quality of the built environment to attract further economic investment to the area while safeguarding this supply of employment floorspace in to the future.

Background:

Historically the Commercial Property Grant initiative has been part funded by the Authority under the provisions of the Local Government Act 2000, with provision made within the Neath Port Talbot Regeneration Capital Programme for borough-wide projects that target specific commercial centres, Communities First areas and Neighbourhood Renewal Areas.

Provision of £232,000 has been made available for Commercial Property Grant schemes within the 2022/23 Regeneration Capital Programme.

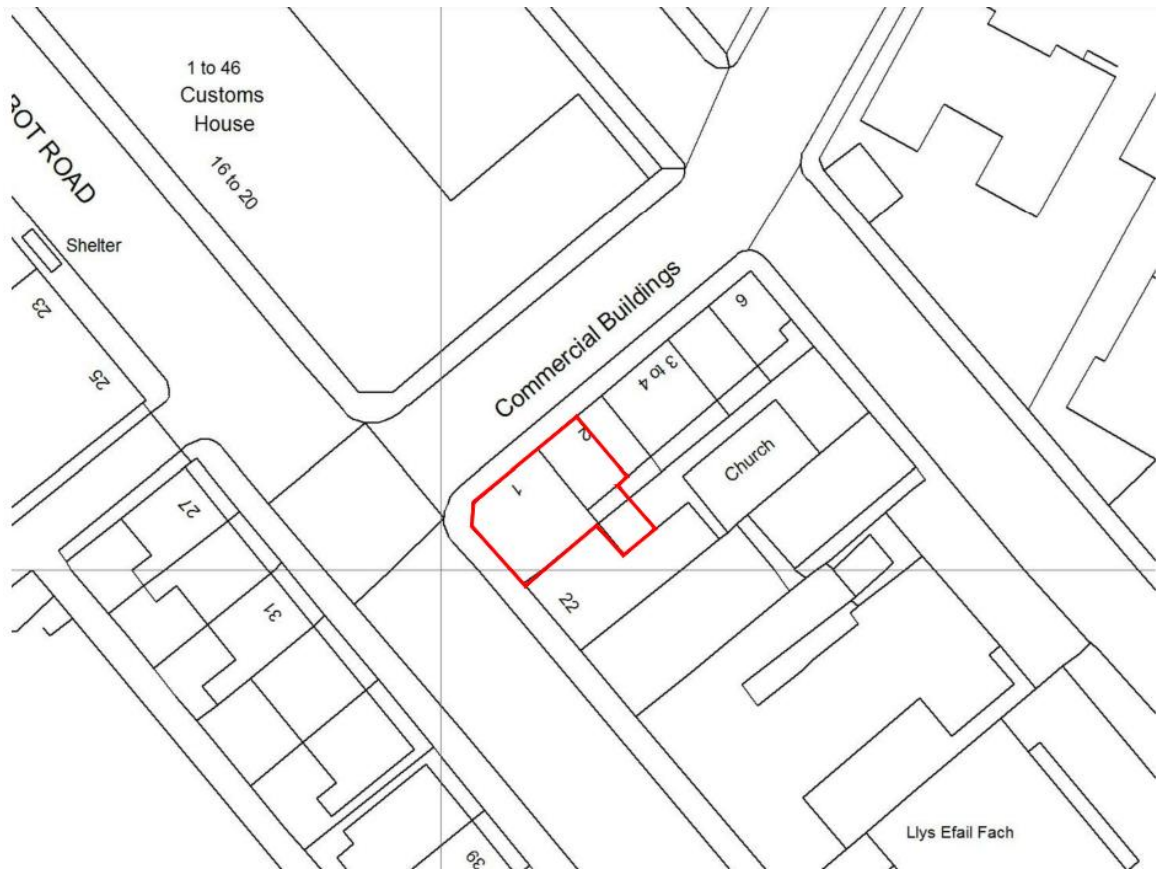
Conditions applicable to the following project will be issued in accordance with the agreed terms for the scheme.

PROPOSAL

Property Address:

Units 1 & 2 Commercial Buildings
Talbot Road
Port Talbot
SA13 1DR

Location Plan:



Brief Description of works:

Corner of Talbot Road and Beverley Street:



Talbot Road elevation:



Proposed Elevations from planning consent Ref: P2021/1141:





Proposed Fascia sign from advertisement consent Ref: 2021/1142



- The proposed works relate to only the ground floor of this three storey building, as that is the extent of the leasehold owned by the applicant.

The upper floors have some architectural value with attractive corner bay windows, the building is currently disadvantaged by its shabby ground floor frontages

- The ground floor windows are currently timber framed and single glazed with a low energy efficiency. Some of the glazing has broken and the window opening boarded up.



- It is proposed to install a new powdercoated aluminium shopfront to the two elevations of the two units, as well as four trough illuminated fascia signs and a projecting sign
- Relevant planning consents:
 - Full planning for change of use to A3 sale of food and drink for consumption (mostly) on the premises and external alterations – P2021/1141
 - Advertisement consent for illuminated signage – P2021/1142
- Total Project Cost (inc eligible works & fees): £33,912.48 (ex VAT)

Proposed Grant Offer (50% intervention rate): **£ 16,956.24**

Financial Impacts:

Grant approval, subject to this report = £16,956.24

There is sufficient allocation within the Regeneration Capital Programme from which to fund this project.

Integrated Impact Assessment:

A first stage impact assessment has been undertaken to assist the Council in discharging its legislative duties (under the Equality Act 2010, the Welsh Language Standards (No.1) Regulations 2015, the Well-being of Future Generations (Wales) Act 2015 and the Environment (Wales) Act 2016.

The first stage assessment has indicated that a more in-depth assessment is not required. A summary is included below.

In line with the Neath Port Talbot IIA screening form guidance we have determined that a full IIA is not relevant.

The proposed scheme involves visual enhancements to a single building. Though the end users of the building will be the general public they will only use the building should they choose to eat/drink in the establishment. Due to the small size of the building the proposed scheme will have low impact on the general public of the County Borough, however accessibility will be an integral part of the development.

Valleys Communities Impacts:

No implications.

Workforce Impacts:

The overall scheme will provide new jobs for the community.

Legal Impacts:

The Commercial Property Grant initiative has been part funded by the Authority under the provisions of the Local Government Act 2000

Risk Management Impacts:

Risks associated with implementing the proposed recommendations:

The Council will not be responsible for any aspect of control of the Works (including for example, design, related investigations, implementation and supervision). The Applicant alone is responsible for everything relating to the Works, including all health and safety matters and for any financial losses. The Council has no legal responsibility for such matters, even if they require approval under the conditions in this manual or Grant Offer Letter.

If the project fails to complete, or does not complete in accordance with the grant terms and conditions, the grant money cannot be claimed. If the project slips over to the next financial year then it is possible that there will not be sufficient funds and the claim process will be complicated.

Risks associated with failing to implement the proposed recommendations:

If the grant is not approved the proposed refurbishment will not be carried out at that time and the locality will not benefit from the resulting regeneration impacts.

Consultation:

There is no requirement for external consultation on this item.

Recommendations:

Having given due regard to the Integrated Impact Assessment and a description of the recommendation, it is recommended that the grant be approved.

Reasons for Proposed Decision:

To implement the provisions of the Commercial Property Grant scheme in accordance with the criteria and terms of administration of the grant, in order to contribute to the regeneration of Port Talbot.

Implementation of Decision:

The decision is proposed for implementation after the three day call in period.

Appendices:

Appendix A - CPG22-02 – Units 1 & 2 Commercial Buildings – IIA First Stage Assessment Form

List of Background Papers:

None

Officer Contact:

Name: Nicola Jane Bulcraig
Designation: Strategic Development Officer
Email: n.bulcraig@npt.gov.uk
Direct dial: 01639 686683

Impact Assessment - First Stage

1. Details of the initiative

Initiative description and summary:

Commercial Property Grant to part fund external improvements to Units 1 & 2 Commercial Buildings, Talbot Road, Port Talbot. External improvements to install a new powdercoated aluminium shopfront to the two elevations of the two units, as well as four trough illuminated fascia signs and a projecting sign, to this prominent three storey building. The proposed works will improve the energy efficiency of the building as well as improve the appearance of the building and therefore the surrounding area.

Service Area: Property & Regeneration

Directorate: Environment

2. Does the initiative affect:

	Yes	No
Service users		X
Staff		X
Wider community	X	
Internal administrative process only		X

3. Does the initiative impact on people because of their:

	Yes	No	None/ Negligible	Don't Know	Impact H/M/L	Reasons for your decision (including evidence)/How might it impact?
Age		X				Proposal is to improve the external appearance of building and it's energy efficiency only. This benefits users of Port Talbot town centre, as well as the people that use the building.
Disability		X				As above

Gender Reassignment		X				As above
Marriage/Civil Partnership		X				As above
Pregnancy/Maternity		X				As above
Race		X				As above
Religion/Belief		X				As above
Sex		X				As above
Sexual orientation		X				As above

4. Does the initiative impact on:

	Yes	No	None/ Negligible	Don't know	Impact H/M/L	Reasons for your decision (including evidence used) / How might it impact?
People's opportunities to use the Welsh language		X				Proposal is to improve the external appearance of building and it's energy efficiency only and has no impact on the use of language
Treating the Welsh language no less favourably than English		X				As above

5. Does the initiative impact on biodiversity:

	Yes	No	None/ Negligible	Don't know	Impact H/M/L	Reasons for your decision (including evidence) / How might it impact?
To maintain and enhance biodiversity		X				Proposal is to improve the external appearance of building and it's energy efficiency only and has no impact on local biodiversity.

To promote the resilience of ecosystems, i.e. supporting protection of the wider environment, such as air quality, flood alleviation, etc.		X				Proposal is to improve the external appearance of building and it's energy efficiency only and has no impact on the resilience of ecosystems.
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6. Does the initiative embrace the sustainable development principle (5 ways of working):

	Yes	No	Details
Long term - how the initiative supports the long term well-being of people	X		The proposed improvement to the external appearance of Commercial Buildings will improve the appearance of the Talbot Road and the wider Port Talbot area in the long-term and so improve the quality of life for those that use it.
Integration - how the initiative impacts upon our wellbeing objectives	X		The proposed work supports business to grow the local economy and attract new investment to the area. (NPTCBC Corporate Plan 2019-2022 3.1.3)
Involvement - how people have been involved in developing the initiative		X	The design changes to the building were selected by it's owner in consideration of the franchise branding as well as the enjoyment of the building by its potential users.
Collaboration - how we have worked with other services/organisations to find shared sustainable solutions		X	The project is not of sufficient scope or scale to require the involvement of other services or organisations.
Prevention - how the initiative will prevent problems occurring or getting worse	X		The proposal will reduce the rate at which the building will deteriorate in condition and appearance, as well as contribute towards reducing the rate at which the overall appearance of the Talbot Road and wider Port Talbot area deteriorates in condition and appearance. Potentially the people that

			use an area will treat it better, in terms of reduced rates of vandalism, graffiti and litter, if they consider the quality of their environment to be good or improving.
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7. Declaration - based on above assessment (tick as appropriate):

A full impact assessment (second stage) is not required	√
Reasons for this conclusion	
The proposal is to grant fund part of the cost of external improvement to a single building. The initiative embraces sustainable development by improving the condition, appearance and energy efficiency of the built environment, supporting business to grow the local economy and attract new investment to the area. The initiative does not, however, have a significant impact on any specific group of people so a full impact assessment is not required.	

A full impact assessment (second stage) is required	
Reasons for this conclusion	

	Name	Position	Date
Completed by	Nicola Jane Bulcraig	Strategic Development Officer	20.06.2022
Signed off by	Simon Brennan	Head of Property & Regeneration	20.06.2022



Cyngor Castell-nedd Port Talbot
Neath Port Talbot Council

NEATH PORT TALBOT COUNTY BOROUGH COUNCIL

Environment, Regeneration and Streetscene Services Cabinet Board

22nd July 2022

Report of the Head of Property and Regeneration – S. Brennan

Matter for Decision,

Wards Affected: Neath North

COMMERCIAL PROPERTY GRANT: 20 QUEEN STREET, NEATH

Purpose of the Report:

To obtain authority under the Commercial Property Grant scheme, to grant aid external improvement works to the commercial property named above.

Executive Summary:

The proposal is to part fund the replacement of the roof of this vacant town centre shop, as part of an overall scheme to convert the premises to provide two dwellings above improved commercial floor space. It is anticipated that a Placemaking Grant will part fund the remainder of the proposed works.

The overall scheme will improve the appearance of Neath Town Centre by contributing to the refurbishment of an empty and unsightly building. Approximately 235 m² of refurbished commercial floor space will be created for potential use by a new or existing business,

accommodating up to 8 new jobs while increasing footfall within Neath Town Centre.

This work will improve the quality of the built environment to attract further economic investment to the town centre, while safeguarding this supply of employment floor space in to the future.

Background:

Historically the Commercial Property Grant initiative has been part funded by the Authority under the provisions of the Local Government Act 2000, with provision made within the Neath Port Talbot Regeneration Capital Programme for borough-wide projects that target specific commercial centres, Communities First areas and Neighbourhood Renewal Areas.

Provision of £232,000 is available for Commercial Property Grant schemes within the 2022/23 Regeneration Capital Programme.

Conditions applicable to the following project will be issued in accordance with the agreed terms for the scheme.

PROPOSAL

Property Address:

20 Queen Street
Neath
SA11 9DL

Location Plan:



Brief Description of works:

Photo taken pre-Covid before the shutters stuck down:



Spring 2022:





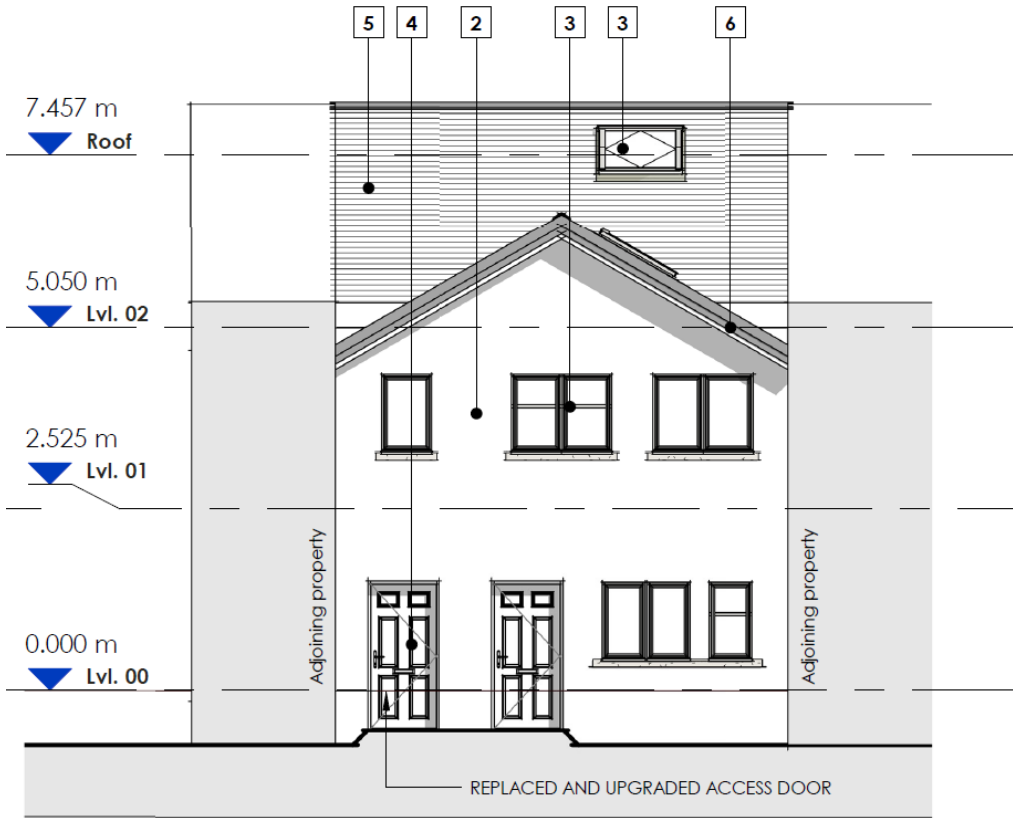
Proposed Elevations from planning consent Ref: P2021/1213:

SHEET SIZE: A2
594mm x 420mm

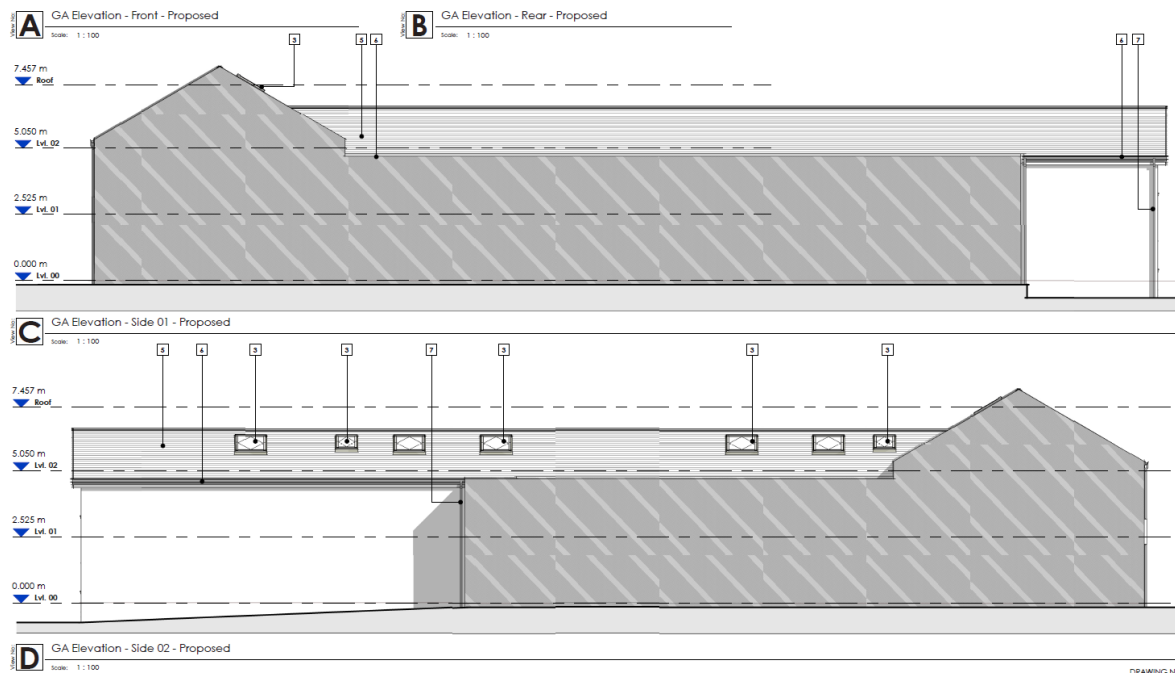


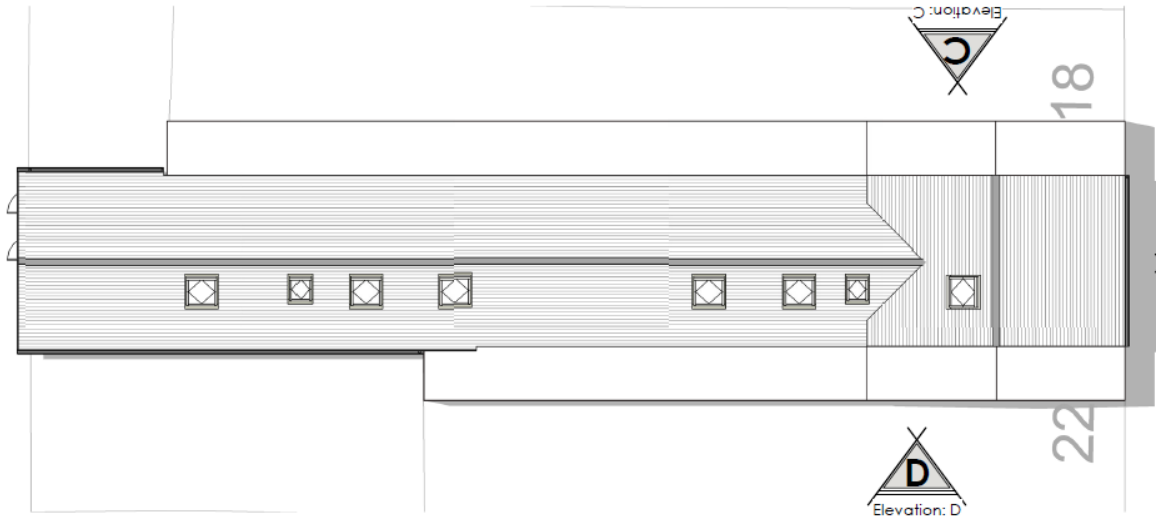
View No: **A** GA Elevation - Front - Proposed
Scale: 1 : 100

3 5 6



View No: **B** GA Elevation - Rear - Proposed
 Scale: 1 : 100





- The overall scheme involves work to the part of the building that will be in commercial use, including the replacement of the shopfront, windows and doors as well as significant internal improvements. Work is also proposed to convert the first floor to provide two new dwellings with new windows, as well as roof works that will benefit the entire structure involving the replacement of the roof coverings, rainwater goods, fascia and soffits and the strengthening of the roof structure to the rear of the building
- All of the proposed internal conversion work, as well as the majority of the external work, will form part of an application for a Placemaking Grant. It is proposed that a Commercial Property Grant supports the roof works only. The existing roof needs to be replaced, is visible from the street both to the front and rear of the property and the work will safeguard this active ground floor commercial street front in to the future
- A relevant planning consent has been obtained for the works Ref: P2021/1213
- Total Project Cost (inc eligible works & fees): £91,732.17 (ex VAT)
- Proposed Grant Offer (50% intervention rate): **£ 47,966.08**

Financial Impacts:

Grant approval, subject to this report = £47,966.08

There is sufficient allocation within the Regeneration Capital Programme from which to fund this project.

Integrated Impact Assessment:

A first stage impact assessment has been undertaken to assist the Council in discharging its legislative duties (under the Equality Act 2010, the Welsh Language Standards (No.1) Regulations 2015, the Well-being of Future Generations (Wales) Act 2015 and the Environment (Wales) Act 2016.

The first stage assessment has indicated that a more in-depth assessment is not required. A summary is included below.

In line with the Neath Port Talbot IIA screening form guidance we have determined that a full IIA is not relevant.

The proposed scheme involves visual enhancements to a single building. Though some of the end users of the building will be the general public they will only use the building should they choose to engage with the commercial use that occupies the shop. Due to the small size of the building the proposed scheme will have low impact on the general public of the County Borough, however accessibility will be an integral part of the development.

Valleys Communities Impacts:

No implications

Workforce Impacts:

The overall scheme will provide new jobs for the community

Legal Impacts:

The Commercial Property Grant initiative has been part funded by the Authority under the provisions of the Local Government Act 2000

Risk Management Impacts:

Risks associated with implementing the proposed recommendations:

The Council will not be responsible for any aspect of control of the Works (including for example, design, related investigations, implementation and supervision). The Applicant alone is responsible for everything relating to the Works, including all health and safety matters and for any financial losses. The Council has no legal responsibility for such matters, even if they require approval under the conditions in this manual or Grant Offer Letter.

If the project fails to complete, or does not complete in accordance with the grant terms and conditions, the grant money cannot be claimed. If the project slips over to the next financial year then it is possible that there will not be sufficient funds and the claim process will be complicated.

Risks associated with failing to implement the proposed recommendations:

If the grant is not approved the proposed refurbishment will not be carried out at that time and the locality will not benefit from the resulting regeneration impacts.

Consultation:

There is no requirement for external consultation on this item

Recommendations:

Having given due regard to the Integrated Impact Assessment and a description of the recommendation, it is recommended that the grant be approved

Reasons for Proposed Decision:

To implement the provisions of the Commercial Property Grant scheme in accordance with the criteria and terms of administration of the grant, in order to contribute to the regeneration of Neath Town Centre.

Implementation of Decision:

The decision is proposed for implementation after the three day call in period

Appendices:

- Appendix A - CPG – 20 Queen Street, Neath – IIA First Stage Assessment Form

List of Background Papers:

None

Officer Contact:

Nicola Jane Bulcraig, Strategic Development Officer

Tel: 01639 686683

Email: n.bulcraig@npt.gov.uk

Impact Assessment - First Stage

1. Details of the initiative

Initiative description and summary:

Commercial Property Grant to part fund roof works to 20 Queen Street, Neath, as part of a wider scheme, potentially part funded through the Placemaking Grant, to refurbish the commercial element of the buildings as well as to convert the first floor to provide two new dwellings. External improvements, in addition to the proposed roof works, include the installation of a new shopfront, windows and doors to this two-storey, mid-terrace shop. The proposed works will improve the appearance of the building and therefore Neath Town Centre, as well as bringing a vacant building back in to use while increasing the commercial floor space of the town centre and increasing the supply of homes.

Service Area: Property & Regeneration

Directorate: Environment

2. Does the initiative affect:

	Yes	No
Service users		X
Staff		X
Wider community	X	
Internal administrative process only		X

3. Does the initiative impact on people because of their:

	Yes	No	None/ Negligible	Don't Know	Impact H/M/L	Reasons for your decision (including evidence)/How might it impact?
Age		X				Proposal is to improve the external appearance of building and increase the supply of commercial floor space and homes within the town centre. This benefits

						users of Neath town centre, as well as the people that use the building.
Disability		X				As above
Gender Reassignment		X				As above
Marriage/Civil Partnership		X				As above
Pregnancy/Maternity		X				As above
Race		X				As above
Religion/Belief		X				As above
Sex		X				As above
Sexual orientation		X				As above

4. Does the initiative impact on:

	Yes	No	None/ Negligible	Don't know	Impact H/M/L	Reasons for your decision (including evidence used) / How might it impact?
People's opportunities to use the Welsh language		X				Proposal is to improve the external appearance of building and increase the supply of commercial floor space and homes within the town centre only and has no impact on the use of language
Treating the Welsh language no less favourably than English		X				As above

5. Does the initiative impact on biodiversity:

	Yes	No	None/ Negligible	Don't know	Impact H/M/L	Reasons for your decision (including evidence) / How might it impact?
To maintain and enhance biodiversity		X				Proposal is to improve the external appearance of building and increase the supply of commercial floor space and homes within the town centre only and has no impact on local biodiversity.
To promote the resilience of ecosystems, i.e. supporting protection of the wider environment, such as air quality, flood alleviation, etc.		X				Proposal is to improve the external appearance of building and increase the supply of commercial floor space and homes within the town centre only and has no impact on the resilience of ecosystems.

6. Does the initiative embrace the sustainable development principle (5 ways of working):

	Yes	No	Details
Long term - how the initiative supports the long term well-being of people	X		The proposed improvement to the external appearance of 20 Queen Street will improve the appearance of Queen Street and so Neath Town Centre in the long-term and so improve the quality of life for those that use it.
Integration - how the initiative impacts upon our wellbeing objectives	X		The proposed work supports business to grow the local economy and attract new investment to the area. (NPTCBC Corporate Plan 2019-2022 3.1.3)

Involvement - how people have been involved in developing the initiative		X	The design changes to the building were selected by it's owner in consideration of potential occupiers.
Collaboration - how we have worked with other services/organisations to find shared sustainable solutions		X	The project is not of sufficient scope or scale to require the involvement of other services or organisations.
Prevention - how the initiative will prevent problems occurring or getting worse	X		The proposal will reduce the rate at which the building will deteriorate in condition and appearance, as well as contribute towards reducing the rate at which the overall appearance of the Talbot Road and wider Port Talbot area deteriorates in condition and appearance. Potentially the people that use an area will treat it better, in terms of reduced rates of vandalism, graffiti and litter, if they consider the quality of their environment to be good or improving. By providing refurbished commercial space and new homes the scheme will support the vibrancy and vitality of the town centre, encouraging it's use

7. Declaration - based on above assessment (tick as appropriate):

A full impact assessment (second stage) is not required	√
Reasons for this conclusion	
The proposal is to grant fund part of the cost of external improvement to a single building. The initiative embraces sustainable development by improving the condition, appearance and energy efficiency of the built environment, supporting business to grow the local economy and attract new investment to the area. The initiative does not, however, have a significant impact on any specific group of people so a full impact assessment is not required.	

A full impact assessment (second stage) is required	
Reasons for this conclusion	

	Name	Position	Date
Completed by	Nicola Jane Bulcraig	Strategic Development Officer	12.07.2022
Signed off by	Simon Brennan	Head of Property & Regeneration	12.07.2022

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Cyngor Castell-nedd Port Talbot
Neath Port Talbot Council

NEATH PORT TALBOT COUNTY BOROUGH COUNCIL

Environment, Regeneration and Streetscene Services Cabinet Board

22nd July 2022

**Joint Report of
Head of Engineering & Transport - D. W. Griffiths, Head of
Property & Regeneration – S. Brennan and Head of Streetcare
Services – M.Roberts.**

Matter for Decision

Wards Affected: Neath North

Incorporation Of Council Land Into The Highway

Purpose of the Report:

Members are requested to approve the dedication of a section of recently constructed/upgraded Council owned unadopted road and footway built as part of the access way for the Neath Leisure and Retail Development.

Executive Summary:

To formally dedicate as highway, a section of Council owned unadopted road and footway under Section 24(2) of the Highways Act 1980.

Background:

The Council owns an area of land that was recently constructed/upgraded for the access way for the Neath Leisure and Retail Development, shown hatched on Plan 1.

This access has been constructed to a standard suitable for “adoption”.

The proposal is to dedicate this area of land as highway maintainable at public expense, under Section 24(2) of the Highways Act 1980 – the power to construct new highways.

Financial Impacts:

Future maintenance costs will be the responsibility of the Highway Authority which would be offset by its inclusion in the annual maintenance grant submission to the Welsh Government. Any costs associated with traffic orders affecting the new adopted highway will be covered by the Neath Leisure and Retail Development fund.

Integrated Impact Assessment:

A first stage impact assessment has been undertaken to assist the Council in discharging its legislative duties (under the Equality Act 2010, the Welsh Language Standards (No.1) Regulations 2015, the Well-being of Future Generations (Wales) Act 2015 and the Environment (Wales) Act 2016. The first stage assessment has indicated that a more in-depth assessment is not required.

Valleys Communities Impacts:

No Implications.

Workforce Impacts:

There are 'No Implications' associated with this report.

Legal Impacts:

As a result of the dedication, the road and footway will become highway maintainable at public expense.

Risk Management Impacts:

If not dedicated as highway maintainable at public expense ongoing maintenance liability would rest with Property and Regeneration.

Consultation:

There is no requirement under the Constitution for external consultation on this item.

Recommendations:

Having had due regard to the first stage Integrated Impact Assessment it is recommended that the road and footway shown hatched on Plan 1 become highway maintainable at public expense.

Reasons for Proposed Decision:

To enable the road and footway to become highway maintainable at public expense.

Implementation of Decision:

The decision is proposed for implementation after the three day call-in period.

Appendices:

Appendix A – Plan
Appendix B - IIA

List of Background Papers:

None.

Officer Contact:

Mr Justin Griffiths, SAB & Highway Development Control Manager
Tel. 01639 686397
Email: j.griffiths4@npt.gov.uk

Mr David Phillips, Strategic Property & Valuation Manager
Tel: 01639 686980
Email: d.phillips@npt.gov.uk

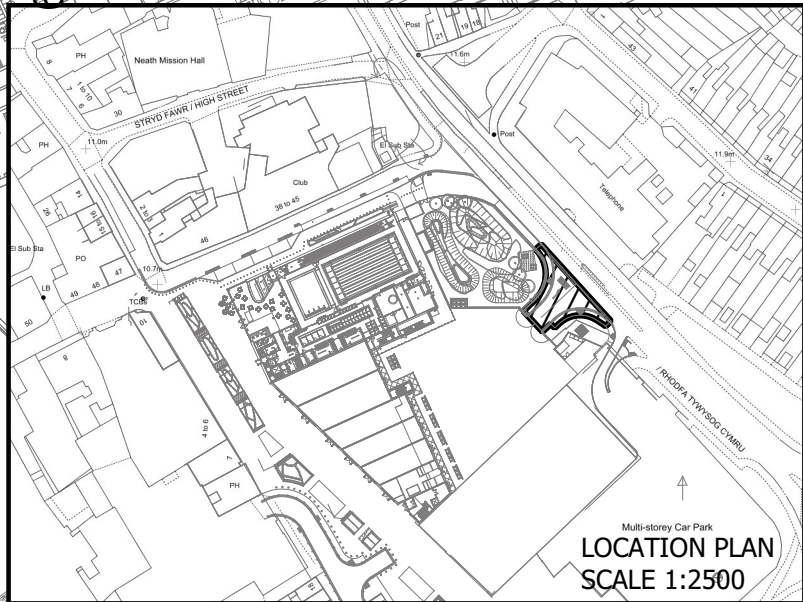
Mr James Davies, Waste and Neighbourhood Services Manager
Tel 01639 686408
Email: j.davies19@npt.gov.uk

Club

 Adopted Highway Access Road

Exchange

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NOTES



PROPERTY & REGENERATION
Nicola Pearce BSC (Hons), Dip TP, MRTPI
Corporate Director of Environment
The Quays, Brunel Way, Baglan Energy Park
Neath SA11 2GG
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Project

LOCATION PLAN

Drawing Title

NEATH TOWN CENTRE
RETAIL & LEISURE UNITS PHASE 2
ACCESS ROAD



Scales
A4 @ 1:500 & 1:2500

Drawing No. Rev.

22-0805

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1. Details of the initiative

Initiative description and summary: Adoption of Road at Neath Leisure and Retail Development.
Service Area: Engineering & Transport, Property & Regeneration & Streetcare Services
Directorate: Environment

2. Does the initiative affect:

	Yes	No
Service users		N
Staff		N
Wider community	Y	
Internal administrative process only		N

3. Does the initiative impact on people because of their:

	Yes	No	None/ Negligible	Don't Know	Impact H/M/L	Reasons for your decision (including evidence)/How might it impact?
Age		N				The Adoption of the Road will have no impact on anyone with protected characteristics.
Disability		N				
Gender Reassignment		N				
Marriage/Civil Partnership		N				
Pregnancy/Maternity		N				
Race		N				
Religion/Belief		N				
Sex		N				
Sexual orientation		N				

4. Does the initiative impact on:

	Yes	No	None/ Negligible	Don't know	Impact H/M/L	Reasons for your decision (including evidence used) / How might it impact?
People's opportunities to use the Welsh language		N				The Adoption of the Road will have no impact on people's opportunities to communicate in Welsh.
Treating the Welsh language no less favourably than English		N				The Adoption of the Road will does not impact on provision to ensure staff can use their first language of choice.

5. Does the initiative impact on biodiversity:

	Yes	No	None/ Negligible	Don't know	Impact H/M/L	Reasons for your decision (including evidence) / How might it impact?
To maintain and enhance biodiversity		N			L	The Adoption of the Road will not affect biodiversity
To promote the resilience of ecosystems, i.e. supporting protection of the wider environment, such as air quality, flood alleviation, etc.		N			L	The Adoption of the Road will not affect resilience of ecosystems.

6. Does the initiative embrace the sustainable development principle (5 ways of working):

	Yes	No	Details
Long term - how the initiative supports the long-term well-being of people	Y		The Adoption of the Road will improve well-being, increase efficiency and improve the highway. The road serves as an access to Neath Leisure and Retail Development and provides a well maintained and safe opportunity for people to access their place of work.
Integration - how the initiative impacts upon our wellbeing objectives	Y		The Well-being of Future Generations (Wales) Act 2015 and the Equality Act 2010 encourages a more joined up approach to road maintenance and travel. The provision of a well-maintained road network plays an important role in supporting the local economy and the overall health and wellbeing of communities.
Involvement - how people have been involved in developing the initiative	Y		Discussions have taken place with the various parties situated on the road, although as the adoption of the road only affects those either situated on the road or those who would use it, a wider discussion is not appropriate.
Collaboration - how we have worked with other services/organisations to find shared sustainable solutions	Y		The Adoption of the Road is the result of collaboration between internal sections of the Council. Without such collaborative working, it would not be possible to be in a position of taking this forward and being able to safeguard the road for all interested parties.
Prevention - how the initiative will prevent problems occurring or getting worse	Y		The Adoption of the Road recognises the importance of the highway infrastructure in supporting corporate, national, regional and local objectives and recognises new legislation, such as the Well-being of Future Generations (Wales) Act 2015 and the Equality Act 2010 (Statutory Duties) (Wales) Regulations 2011.

7. Declaration - based on above assessment (tick as appropriate):

A full impact assessment (second stage) is not required	✓
Reasons for this conclusion	
<p>After completing the assessment it has been determined that this proposal does not require a full Impact Assessment (second stage). The Adoption of the Road has a positive impact on service users, has no adverse impact on people who share protected characteristics or on people's ability to use the Welsh language.</p> <p>The Adoption of the Road embraces the sustainable development principle, by contributing to the Council's three well-being objectives. It does so by improving the wellbeing of both children and adults within the community by efficiently maintaining the highway network and providing safe passage for highway users</p>	

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	Name	Position	Date
Completed by	Jon Griffiths	Rights of Way Officer	29 th July 2022
Signed off by		Head of Service	

NEATH PORT TALBOT COUNTY BOROUGH COUNCIL

Environment Regeneration and Streetscene Services Cabinet Board

22nd July 2022

Report of the Head of Engineering & Transport D. W. Griffiths

Matter for Decision: for decision

Wards Affected: All Wards

Report Title: Neath Port Talbot CBC Highway Technical Design Guide
for Residential, Commercial & Industrial Developments
(Based Upon the All Wales Common Standards)

Purpose of Report

To seek Members endorsement of the new Highway Technical Design Guide for Neath Port Talbot County Borough Council (the "Council").

Background

The Minister of Economy and Transport initiated a Taskforce to undertake a review on unadopted highways. A part of that review entailed the standardisation of highway design and specifications in an All Wales Common Standards document for use by all local Authorities. The Taskforce comprised of Welsh Local Authorities, and other key stakeholders including the House Builders Federation, County Surveyors Society and Welsh Local Government Association. The aim of this design guide is to bring a more consistent approach to enable Highway Agreements, such as section 38 highway adoption agreement and also section 278 agreements for off-site work that relate to new developments, these can then be successfully completed for the adoption of roads serving new developments.

The focus of this Design Guide is very much on a non-prescriptive yet pragmatic view of constructional standards and specifications of highways.

Prior to the use of these Common Standards Guidance, all current and relevant Highway legislation and guidance has been considered and

appropriately complied with during the design and planning process. Such guidance and legislation currently includes:

- Manual for Streets 1 & 2.
- Active Travel (Wales) Act 2013, and accompanying guidance.
- Design Manual for Roads and Bridges.
- SAB Legislation.
- Emerging Pavement Parking Legislation.
- Emerging 20mph Legislation.

The new “All Wales Common Standards” guidance integrates all of the above into a single more user friendly document for developers.

The Highway Development Control Section currently use Neath Port Talbot County Borough Council Guide to The Layout of Development Roads which was first published on 7th October 1994. The Neath Port Talbot Highway Technical Design Guide for Residential, Commercial & Industrial Developments (Based Upon the All Wales Common Standards) 2022 if adopted will replace these documents and bring forward an up to date Design Guide for development of highways and adoption procedures. Please refer to Appendix 1.

The Common Standards Guide has been produced and promoted with the aim of assisting all stakeholders in understanding the design criteria, standards, specifications and processes involved with designing and building new highways to serve new developments. It is anticipated that all highway designs for residential, industrial or commercial estate roads in Wales will be developed in accordance with these Standards, which seeks to provide a pragmatic approach to highway design, that all local Highway Authorities will promote with the aim to ensure the same design proposals are applied, providing both consistency and clarity to developers in the technical approval process and adoption requirements across Wales.

By following the new guidelines, developers can have confidence that the infrastructure that they are delivering will be suitable to be adopted by the relevant Local Highway Authority.

It is intended that these Common Standards will be a “Live” document and will be the subject of regular updates to reflect latest standards, material specification and technological advances.

The Common Standards are not intended to restrict creativity and individuality in design but provide a basic framework for the road layout and the processes contained within this guide, which should be followed to ensure that newly created highway infrastructure will be adopted by the Local Highway Authority.

Inevitably, there will be local variations in some parameters for design and material specification and it is recommended that developers enter consultations with all key stakeholders at an early stage in order to determine exact geometric criteria, material specification, sustainable drainage requirements and any potential commuted sum associated with the highway assets to be adopted.

It should be noted that the document has been adjusted to specifically reflect the Councils own street lighting specification, vetting fee policy and Council brand.

Financial Impact

There is no financial risk associated with the implementation of the guidance.

Integrated Impact Assessment

A first stage impact assessment has been undertaken to assist the Council in discharging its legislative duties (under the Equality Act 2010, the Welsh Language Standards (No.1) Regulations 2015, the Well-being of Future Generations (Wales) Act 2015 and the Environment (Wales) Act 2016. The first stage assessment has indicated that a more in-depth assessment is not required.

Valleys Communities Impact

All development will be required to use this document which shall have a positive impact upon the valley communities.

Workforce Impact

There are no workforce impacts

Legal Impact

There are no Legal impacts

Risk Management

The standardisation of documentation into a single document will help reduce the current financial risk on the Councils having to potentially pick up the costs of works defective works on unadopted highways.

Implementing the new Highway Design Guidance will help to minimise the risk of design challenges from private sector organisations and contractors in respect of the Councils current design guide which has become outdated over time in terms of new sustainable products now available in the market, new design principals and emerging design solutions and recent changes to standards.

Consultation

There was no requirement for consultation on this item.

Recommendation(s)

Having due regard to the screening Integrated Impact Assessment it is recommended that Members approve the New Highway Design Guide for implementation.

That the design guide be published on the Councils website.

Reason for Proposed Decision(s)

To ensure that the Council has in place an up to date Highway Design Guide that is consistent with other Welsh Local Authorities. Does not restrict creativity and innovation in highway design, whilst encouraging newly created highway infrastructure to be adopted by the Local Highway Authority.

Implementation of Decision

The decision is proposed for implementation after the 3 day call in period.

Appendices

Appendix 1 – Neath Port Talbot Highway Technical Design Guide for Residential, Commercial & Industrial Developments (Based Upon the All Wales Common Standards). The size of the document we have is of significant size therefore we had to allow access via a link.

Appendix 2- IIA

List of Background Papers

None

Officer Contact

Mr Justin W. Griffiths , SAB & Highway Development Control Manager

Tel 01639 686397

E-mail j.griffiths4@npt.gov.uk

Neath Port Talbot Highway Technical Design Guide for Residential, Commercial & Industrial Developments

(Based Upon the All Wales Common Standards).

Documents can be found by linking on to the following website address:
<https://www.npt.gov.uk/33494>

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Integrated Impact Assessment (IIA)

This Integrated Impact Assessment considers the duties and requirements of the following legislation in order to inform and ensure effective decision making and compliance:

- Equality Act 2010
- Welsh Language Standards (No.1) Regulations 2015
- Well-being of Future Generations (Wales) Act 2015
- Environment (Wales) Act 2016

Version Control

Version	Author	Job title	Date
e.g. Version 1	Justin W. Griffiths	Senior Development Management Engineer.	23-07-2020

1. Details of the initiative

	Title of the Initiative: Neath Port Talbot Highway Technical Design Guide for Residential, Commercial & Industrial Developments (Based Upon the All Wales Common Standards)
1a	Service Area: Highway Development Control
1b	Directorate: Environment and Regeneration
1c	Summary of the initiative: To implement a New Highway Design Guide for Neath Port Talbot which shall seek to supersede the existing design guide which was produced in 1994. The new Highway Design Guide is based upon the All Wales Common Standards.
1d	Who will be directly affected by this initiative? Consultants/Developers/Landowners/contractors/sub-contractors/public- all users/Builders/Suppliers/Planning and Street Care services (highway adoption).

1e	When and how were people consulted? We consulted Street Lighting on the use of software for lighting columns, and implemented changes as a result of NPTCBC policy for highways.
1f	What were the outcomes of the consultation? Minor a changes were made to the original All Wales Common Standards documents.

2. Evidence

What evidence was used in assessing the initiative?
<p>The “All Wales Common Standards” was commissioned by Welsh Government whereby a taskforce made up of various local authorities, House builders Federation and Local Authorities collated together a non-prescriptive design guide for the purpose of development of new highways and adoption.</p>

3. Equalities

a) How does the initiative impact on people who share a **protected characteristic**?

Protected Characteristic	+	-	+/-	Why will it have this impact?
Age	✓			To provide good practices and safe environment along highways for all users
Disability	✓			To provide good practices and safe environment along highways for all users
Gender reassignment			✓	There will be no impacts on this protected characteristic
Marriage & civil partnership			✓	There will be no impacts on this protected characteristic
Pregnancy and maternity			✓	There will be no impacts on this protected characteristic

Race			✓	There will be no impacts on this protected characteristic
Religion or belief			✓	There will be no impacts on this protected characteristic
Sex			✓	There will be no impacts on this protected characteristic
Sexual orientation			✓	There will be no impacts on this protected characteristic

What action will be taken to improve positive or mitigate negative impacts?

There are no negative impacts - NEATH PORT TALBOT HIGHWAY TECHNICAL DESIGN GUIDE FOR RESIDENTIAL, COMMERCIAL & INDUSTRIAL DEVELOPMENTS is based upon The All Wales Common Standards which is subject to a yearly review therefore changes 'if needed' can be made.

b) How will the initiative assist or inhibit the ability to meet the **Public Sector Equality Duty**?

Public Sector Equality Duty (PSED)	+	-	+/-	Why will it have this impact?
To eliminate discrimination, harassment and victimisation	✓			Providing nonprescriptive opportunities that will allow for flexibility in design of highways
To advance equality of opportunity between different groups	✓			Providing nonprescriptive opportunities that will allow for flexibility in design of highways and access.

To foster good relations between different groups	✓			The proposed design guide is non-prescriptive and allows developers to be flexible in design of highways which in turn provides opportunities for Developers, Consultants and Contractors to work more efficiently with the Councils Highway Development Control Section and Adoption.
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What action will be taken to improve positive or mitigate negative impacts?
A yearly review is required by the taskforce team which will seek to continually improve and update the document.

4. Community Cohesion/Social Exclusion/Poverty

	+	-	+/-	Why will it have this impact?
Community Cohesion	✓			Constructing sustainable developments and improving health and wellbeing of community.
Social Exclusion	✓			Encouraging non-prescriptive and pragmatic design and construction of infrastructure to improve upon connectivity for all modes of transport and assist on reducing social exclusion.
Poverty	✓			Encouraging good design and construction of infrastructure whilst assisting the economy in terms of good highway network links to housing, commercial and

				industrial development creating sustainable environments. For example; jobs and housing.
--	--	--	--	--

What action will be taken to improve positive or mitigate negative impacts?

A yearly review is required by the taskforce team which will seek to continually improve and update the document.

5. Welsh

	+	-	+/-	Why will it have this effect?
What effect does the initiative have on: - people's opportunities to use the Welsh language	✓			The document is currently being translated by the Welsh Government. Once completed we will add in our amendments in Welsh accordingly.
- treating the Welsh and English languages equally	✓			The document is currently being translated by the Welsh Government. Once completed we will add in our amendments in Welsh accordingly.

What action will be taken to improve positive or mitigate negative impacts?

A yearly review is required by the taskforce team which will seek to continually improve and update the document.

6. Biodiversity

How will the initiative assist or inhibit the ability to meet the **Biodiversity Duty**?

Biodiversity Duty	+	-	+/-	Why will it have this impact?
To maintain and enhance biodiversity	✓			The implementation of new highway design principles that allows SUDS components which will seek to enhance Biodiversity.
To promote the resilience of ecosystems, i.e. supporting protection of the wider environment, such as air quality, flood alleviation, etc.	✓			The implementation of new highway design principles that allows SUDS components which will seek to enhance Biodiversity.

What action will be taken to improve positive or mitigate negative impacts?

A yearly review is required by the taskforce team which will seek to continually improve and update the document.

7. Well-being of Future Generations

How have the five ways of working been applied in the development of the initiative?

Ways of Working	Details
i. Long term – looking at least 10 years (and up to 25 years) ahead	The purpose of the new highways design guide is to allow flexibility in highway design principles that creates a sense of place and environment that will more sustainable.
ii. Prevention – preventing problems occurring or getting worse	The highway design guidance will prevent new methods of disposing surface water via SuDS components and reduce on ongoing maintenance and management costs for the Council.
iii. Collaboration – working with other services internal or external	Working with other divisions and departments within the Council is essential for good highway design practices and early intervention with developers and consultants is key objective.

<p>iv. Involvement – involving people, ensuring they reflect the diversity of the population</p>	<p>Getting all stakeholders involved in the design principles at an early stage of development is a key objective.</p>
<p>v. Integration – making connections to maximise contribution to:</p>	<p>The design guide provides various integrated design principles that covers all modes of transport and its hierarches.</p>
<p>Council’s well-being objectives</p>	<p>The design seeks to meet with all of the Councils well-being objectives in respect of new development</p>
<p>Other public bodies objectives</p>	<p>Document shall be reviewed yearly by Welsh Government</p>

8. Monitoring Arrangements

Provide information on the monitoring arrangements to:

Monitor the impact of the initiative on Equalities, Community Cohesion, the Welsh Measure, Biodiversity Duty and the Wellbeing Objectives.

A yearly review of the document will allow for a changes required, together with any legislative or design updates

9. Assessment Conclusions

Please provide details of the conclusions reached in relation to each element of the assessment:

	Conclusion
Equalities	Meets the criteria
Community Cohesion/ Social Exclusion/Poverty	Meets the criteria
Welsh	Translation to be undertaken
Biodiversity	Meets the criteria
Well-being of Future Generations	Meets the criteria

Overall Conclusion

Please indicate the conclusion reached:

- **Continue** - as planned as no problems and all opportunities have been maximised ✓
- **Make adjustments** - as potential problems/missed opportunities/negative impacts have been identified along with mitigating actions
- **Justification** - for continuing with the initiative even though there is a potential for negative impacts or missed opportunities
- **STOP** - redraft the initiative as actual or potential unlawful discrimination has been identified

Please provide details of the overall conclusion reached in relation to the initiative

To approve the design guide that will be used as part of the highways and transport assessments, as well as a document for development that can form part of the Local Development Plan (LDP).

10. Actions

What actions are required in relation to obtaining further data/information, to reduce or remove negative impacts or improve positive impacts?

Action	Who will be responsible for seeing it is done?	When will it be done by?	How will we know we have achieved our objective?
Less prescriptive design guide/criteria for highways so that developers can be flexible in design	SAB & HDC officers and Applicants	When planning permission granted and adoption of highways	Having less delays during approval process for planning and adoption.
Takes a pragmatic view and more consistency of design requirements.	All local highway authorities	When planning permission granted and adoption of highways	Efficient highway design projects being submitted for technical approval and highway adoption.

11. Sign off

	Name	Position	Date
Completed by	Justin W Griffiths	Snr Highway Development Control Engineer –Team Leader.	13/07/2022
Signed off by	David W Griffiths	Head of Engineering & Transport	13/07/2022

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NEATH PORT-TALBOT COUNTY BOROUGH COUNCIL
Environment, Regeneration and Streetscene Services Cabinet
Board

22nd July 2022

Report of Head of Engineering & Transport – D.W.Griffiths

Matter for Decision

Wards affected: Cimla & Pelenna

Bevans Terrace Retaining Wall Reconstruction

Purpose of Report

To inform Members of the condition of Bevans Terrace Retaining Wall in Pontrhydyfen and the need for major maintenance works and to further seek members' approval to undertake the reconstruction works as budgeted for in the Council Capital Programme.

Executive Summary

The report outlines the need to reconstruct Bevans Terrace Retaining Wall as it supports the Public Highway.

Background

Bevan's Terrace Retaining Wall is supporting Main Road in Pontrhydyfen. The wall is 55m long and varies in height but is an average of 2.0m.

The existing support is in the form of a ground beam constructed out of dry stone walling & mass concrete into which the concrete posts for the mesh fence are fixed.

The support has failed in a number of locations and a prominent area of settlement has formed in the footway, which has started to extend into the carriageway. If the wall were to collapse completely it would result in the partial or complete closure of the Main Road through Pontrhydyfen, plus the loss of the public sewer, gas main and telecoms.

The current concrete post and mesh fencing doesn't meet current standards for vehicle containment and there is an approximate 10m drop (1:2 slope) from the carriageway into the Pelenna River.

Works required

The major maintenance work that is now required to be carried out at Bevans Terrace is;

- Excavation of the existing retaining wall and reconstruct with reinforced concrete wall;
- Erect vehicle containment barrier;
- Replace misaligned kerb line and;
- Resurface footpath and carriageway.

Financial Impact

The estimate for the works is **£540K** and budgeted for in the Councils Capital Programme.

Integrated Impact Assessment

A first stage impact assessment has been undertaken to assist the Council in discharging its legislative duties (under the Equality Act 2010, the Welsh Language Standards (No.1) Regulations 2015, the Well-being of Future Generations (Wales) Act 2015 and the Environment (Wales) Act 2016.

The first stage assessment, attached at Appendix B, has indicated that a more in-depth assessment is not required. A summary is included below:-

A full impact assessment is not required, as the proposed reconstruction works will provide a benefit to the Community.

Valleys Community Impacts

There are '**No Implications**' associated with this report.

Workforce Impacts

There are '**No Implications**' associated with this report.

Legal Impacts

There are '**No Implications**' associated with this report.

Risk Management Impacts

The work needs to be carried out to prevent the full or partial collapse of the wall, footpath & potentially the adjacent road. Along with the loss of the main gas & sewerage supply for the terrace.

Consultation

There is no requirement under the Constitution for external consultation on this item.

Recommendations

Having due regard to the Integrated Impact Screening Assessment it is recommended that:

Members note the condition of Bevan Terrace Retaining Wall and approve the reconstruction of the structure to current design standards as budgeted for in the Councils Capital Programme.

Reason for Proposed Decision

To manage the risks and liabilities associated with Bevans Terrace Retaining Wall.

Implementation of Decision:

The decision is proposed for implementation after the three day call in period.

Appendices

Appendix A – Bevans Terrace Retaining Wall – 06-170 - General Inspection April 2022.

Appendix B – Integrated Impact Assessment.

Background Papers

None.

Officer Contact

Mr. Hasan Hasan, Engineering Manager

Tel. No. 01639 686463

Email h.hasan@npt.gov.uk

6-170

Bevans Terrace Retaining Wall:
Pelenna Division

General



Easting: 279021.104469826

Northing: 194670.982747014

Inspection Type: General	Form No.: 1 of 1	Description:	
Inspector: David Griffiths	Date: 05/04/2022 11:12	Next Inspection:	
Name:	Bevans Terrace Retaining Wall (6-170)	Road Ref:	B4287 main Road, Ponrhydyfen

Map Ref:	OS:	SS79029467			Primary Str. Form:				
Width:	60	Length:	0.65		Primary Material:		B		
All Above Ground Elements Inspected:			Yes		Secondary Str. Form:				
					Secondary Material:				
Set	No	Element Description	S	Ex	Def	W	P	Cost	Comments/Remarks
Main Els.	1	Foundations	4	C	6.1		H	£0	There are large sections were it appears that there are no or very limited foundations
	2	Retaining Wall (Primary)	4	C	3.7	N	H	£250,000	The concrete dwarf wall is heavily cracked and is bulging. it has partially collapses at one location and a major dip in footpath and roadway adjacent to no 5 for a section of 10m this section requires replacing as asap as there is no support to the footpath and roadway.
Safety Elements	10	Carriageway	4	C	9.6		M	£150,000	Heavy longitudinal cracking and deformation in the road opposite no 5 where the concrete wall has partially collapsed
	12	Footway/Verge	4	C	3.7	R	H	£25,000	There is cracking to the footpath surfacing throughout the length of the wall but there is a significant deformation above the area where the wall has partially collapsed.
Other Elements	14	Concrete Posts	4	C	3.7	R	M	£50,000	These are substandard by design. 6 no of concrete posts leaning towards river these need replacing with new concrete plinth of 10m
	15	Chain link Fencing	1	A	1.2		N	£0	Good condition
S- Severity ,Ex - Extent, def - Defect. W - Work Required, P - Work Priority, Cost - Cost of work									

Structure: Bevans Terrace Retaining Wall	Structure Ref: 6-170	Form: 1 of 1
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MULTIPLE DEFECTS

Element No.	S	Ex	Defect	Comments
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INSPECTOR'S COMMENTS

No.	Comments	Comment Type			
	The wall needs to be rebuilt along with the footpath & the adjacent carriageway	Engineers Comment			
	The concrete plinth has given way causing cracking and a major dip in footpath and roadway adjacent to no 5 for a section of 10m this section requires replacing as asap as there is no support to the footpath and carriageway.	Inspectors Comment			
Name	David Griffiths	Signed		Date	05/04/2022 00:00

ENGINEER'S COMMENTS

No.	Comments				
	The wall needs to be rebuilt along with the footpath & the adjacent carriageway				
Name	Paul Ransome	Signed		Date	15/04/2022 00:00

WORK REQUIRED

Ref No.	Item No.	Work Description	Priority	Estimated Cost	Work Ordered
MA2200060	14	These are substandard by design. 6 no of concrete posts leaning towards river these need replacing with new concrete plinth of 10m	M	£50,000	
MA2200057	12	There is cracking to the footpath surfacing throughout the length of the wall but there is a significant deformation above the area where the wall has partially collapsed.	H	£25,000	
MA2200059	10	Heavy longitudinal cracking and deformation in the road opposite no 5 where the concrete wall has partially collapsed	M	£150,000	
MA2200058	2	The concrete dwarf wall is heavily cracked and is bulging. it has partially collapses at one location and a major dip in footpath and roadway adjacent to no 5 for a section of 10m this section requires replacing as asap as there is no support to the footpath and roadway.	H	£250,000	
Name		Signed		Date	

Structure: Bevans Terrace Retaining Wall	Structure Ref: 6-170	Form: 1 of 1
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PHOTOS

Inspection Item No.	Reference	Photo	Photo Description
2	2202333		Retaining Wall (Primary)
2	2202334		Retaining Wall (Primary)
2	2202335		Retaining Wall (Primary)
2	2202336		Retaining Wall (Primary)
2	2203990		Retaining Wall (Primary)
2	2203991		Retaining Wall (Primary)
2	2203993		Retaining Wall (Primary)

Inspection Item No.	Reference	Photo	Photo Description
10	2202329		Carriageway
10	2202330		Carriageway
10	2202331		Carriageway
10	2202332		Carriageway
12	2202327		Footway/Verge
12	2202328		Footway/Verge
14	2202324		Concrete Posts

Inspection Item No.	Reference	Photo	Photo Description
14	2202325		Concrete Posts
14	2202326		Concrete Posts
15	2202323		Chain link Fencing

Photo	Photo Description	File Name
	Retaining Wall (Primary)	IMG-20210223-WA0014
	Retaining Wall (Primary)	IMG-20210223-WA0024
	Retaining Wall (Primary)	6-170-220405110757.jpg

Photo	Photo Description	File Name
	Footway/Verge	6-170-220405105810.jpg
	Concrete Posts	6-170-220405105432.jpg
	Retaining Wall (Primary)	6-170-220405110830.jpg
	Footway/Verge	6-170-220405105828.jpg
	Carriageway	6-170-220405110534.jpg
	Concrete Posts	6-170-220405105424.jpg





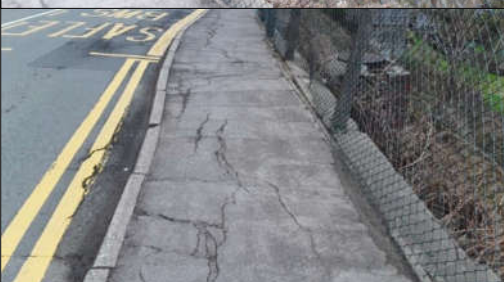



Photo	Photo Description	File Name
	Retaining Wall (Primary)	6-170-220405110807.jpg
	Carriageway	6-170-220405110543.jpg
	Retaining Wall (Primary)	6-170-220405110819.jpg
	Chain link Fencing	6-170-220405105213.jpg
	Concrete Posts	6-170-220405105445.jpg
	Retaining Wall (Primary)	IMG-20210223-WA0007

Photo	Photo Description	File Name
	Carriageway	6-170-220405110521.jpg
	Carriageway	6-170-220405110131.jpg

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Integrated Impact Assessment (IIA)

This Integrated Impact Assessment considers the duties and requirements of the following legislation in order to inform and ensure effective decision making and compliance:

- Equality Act 2010
- Welsh Language Standards (No.1) Regulations 2015
- Well-being of Future Generations (Wales) Act 2015
- Environment (Wales) Act 2016

Version Control

Version	Author	Job title	Date
0	Paul Ransome	Bridges & Highway Structures Manager	12/06/2022

1. Details of the initiative

	Title of the Initiative: Bevans Terrace Retaining Wall Reconstruction
1a	Service Area: Engineering and Transport
1b	Directorate: Environment and Regeneration
1c	Summary of the initiative: The Reconstruction of bevans Terrace Retaining Wall, as it supports the Public Highway
1d	Is this a 'strategic decision'? No
1e	Who will be directly affected by this initiative? N/A.
1f	When and how were people consulted? If allowed to proceed. N/A.
1g	What were the outcomes of the consultation? N/A

2. Evidence

What evidence was used in assessing the initiative?

A general inspection of the wall was undertaken in April 2022, which recommended that it be reconstructed.

3. Equalities

a) How does the initiative impact on people who share a **protected characteristic**?

Protected Characteristic	+	-	+/-	Why will it have this impact?
Age			√	There is no negative impact, as the reconstruction of the retaining wall will ensure that the road can remain open & services to local properties can be maintained.
Disability			√	There is no negative impact, as the reconstruction of the retaining wall will ensure that the road can remain open & services to local properties can be maintained.
Gender reassignment			√	There is no negative impact, as the reconstruction of the retaining wall will ensure that the road can remain open & services to local properties can be maintained.
Marriage & civil partnership			√	There is no negative impact, as the reconstruction of the retaining wall will ensure that the road can remain open & services to local properties can be maintained.
Pregnancy and maternity			√	There is no negative impact, as the reconstruction of the retaining wall will ensure that the road can remain open & services to local properties can be maintained.
Race			√	There is no negative impact, as the reconstruction of the retaining wall will ensure that the road can remain open & services to local properties can be maintained.
Religion or belief			√	There is no negative impact, as the reconstruction of the retaining wall will ensure that the road can remain open & services to local properties can be maintained.
Sex			√	There is no negative impact, as the reconstruction of the retaining wall will ensure that the road can remain open & services to local properties can be maintained.
Sexual orientation			√	There is no negative impact, as the reconstruction of the retaining wall will ensure that the road can remain open & services to local properties can be maintained.

What action will be taken to improve positive or mitigate negative impacts?

No action will be taken.

b) How will the initiative assist or inhibit the ability to meet the **Public Sector Equality Duty**?

Public Sector Equality Duty (PSED)	+	-	+/-	Why will it have this impact?
To eliminate discrimination, harassment and victimisation			√	There is no negative impact, as the reconstruction of the retaining wall will ensure that the road can remain open & services to local properties can be maintained.
To advance equality of opportunity between different groups			√	There is no negative impact, as the reconstruction of the retaining wall will ensure that the road can remain open & services to local properties can be maintained.
To foster good relations between different groups			√	There is no negative impact, as the reconstruction of the retaining wall will ensure that the road can remain open & services to local properties can be maintained.

What action will be taken to improve positive or mitigate negative impacts?

No action will be taken. There is no negative impact, as the reconstruction of the retaining wall will ensure that the road can remain open & services to local properties can be maintained.

4. Socio Economic Duty

Impact	Details of the impact/advantage/disadvantage
Positive/Advantage	N/A
Negative/Disadvantage	N/A
Neutral	N/A

What action will be taken to reduce inequality of outcome
N/A

5. Community Cohesion/Social Exclusion/Poverty

	+	-	+/-	Why will it have this impact?
Community Cohesion	√			The reconstruction of the retaining wall will ensure that the road can remain open giving residents connectivity to the remainder of the village & the wider County.
Social Exclusion	√			The reconstruction of the retaining wall will ensure that the road can remain open giving residents connectivity to the remainder of the village & the wider County.
Poverty			√	There is no negative impact, as the reconstruction of the retaining wall will ensure that the road can remain open & services to local properties can be maintained.

What action will be taken to improve positive or mitigate negative impacts?

There is no negative impact, as the reconstruction of the retaining wall will ensure that the road can remain open & services to local properties can be maintained.

6. Welsh

	+	-	+/-	Why will it have this effect?
What effect does the initiative have on: - people's opportunities to use the Welsh language			√	There is no negative impact, as the reconstruction of the retaining wall will ensure that the road can remain open & services to local properties can be maintained.
- treating the Welsh and English languages equally			√	There is no negative impact, as the reconstruction of the retaining wall will ensure that the road can remain open & services to local properties can be maintained.

What action will be taken to improve positive or mitigate negative impacts?

There is no negative impact, as the reconstruction of the retaining wall will ensure that the road can remain open & services to local properties can be maintained.

7. Biodiversity

How will the initiative assist or inhibit the ability to meet the **Biodiversity Duty**?

Biodiversity Duty	+	-	+/-	Why will it have this impact?
To maintain and enhance biodiversity			√	The reconstruction work will be designed & timed to ensure that the existing biodiversity will not be affected and if possible, enhancements will be incorporated into the design following consultation with our Biodiversity Section.
To promote the resilience of ecosystems, i.e. supporting protection of the wider environment, such as air quality, flood alleviation, etc.			√	There is no negative impact, as the reconstruction of the retaining wall will ensure that the road can remain open & services to local properties can be maintained.

What action will be taken to improve positive or mitigate negative impacts?

In liaison with the Authorities Biodiversity team, the wall will be surveyed & mitigation works put in place if needed.

8. Well-being of Future Generations

How have the five ways of working been applied in the development of the initiative?

Ways of Working	Details
i. Long term – looking at least 10 years (and up to 25 years) ahead	The long-term goal is to make the structure safe whilst ensuring that future generations are not left with the liabilities.
ii. Prevention – preventing problems occurring or getting worse	The purpose of the works is to prevent the further deterioration of the structure and the partial or full collapse of the wall.
iii. Collaboration – working with other services internal or external	The works will be carried out by the Bridges & Highway Structures Team, in liaison with NPT's Biodiversity & Network Management teams and Natural Resources Wales.
iv. Involvement – involving people, ensuring they reflect the diversity of the population	The scheme will ensure the safety of the public.
v. Integration – making connections to maximise contribution to:	The works will ensure that Norton Terrace remains open. Norton Terrace is part of the public highway but also connects onto a number of public rights of way
Council's well-being objectives	The scheme will ensure the safety of the public.
Other public bodies objectives	The scheme will ensure the safety of the public.

9. Monitoring Arrangements

Provide information on the monitoring arrangements to:

Monitor the impact of the initiative on Equalities, Community Cohesion, the Welsh Measure, Biodiversity Duty and the Wellbeing Objectives.

N/A

10. Assessment Conclusions

Please provide details of the conclusions reached in relation to each element of the assessment:

	Conclusion
Equalities	No action will be taken. There is no negative impact, as the reconstruction of the retaining wall will ensure that the road can remain open & services to local properties can be maintained.
Socio Economic Disadvantage	No action will be taken. There is no negative impact, as the reconstruction of the retaining wall will ensure that the road can remain open & services to local properties can be maintained.
Community Cohesion/ Social Exclusion/Poverty	There is no negative impact, as the reconstruction of the retaining wall will ensure that the road can remain open & services to local properties can be maintained.
Welsh	There is no negative impact, as the reconstruction of the retaining wall will ensure that the road can remain open & services to local properties can be maintained.
Biodiversity	In liaison with the Authorities Biodiversity team, the wall will be surveyed & mitigation works put in place if needed.
Well-being of Future Generations	The long-term goal is to make the structure safe whilst ensuring that future generations are not left with the liabilities.

Overall Conclusion

Please indicate the conclusion reached:

- Continue** - as planned as no problems and all opportunities have been maximised
- **Make adjustments** - as potential problems/missed opportunities/negative impacts have been identified along with mitigating actions
- **Justification** - for continuing with the initiative even though there is a potential for negative impacts or missed opportunities
- **STOP** - redraft the initiative as actual or potential unlawful discrimination has been identified

Please provide details of the overall conclusion reached in relation to the initiative

The overall conclusion for the Integrated Impact Assessment (IIA) is to Continue as planned

11. Actions

What actions are required in relation to obtaining further data/information, to reduce or remove negative impacts or improve positive impacts?

Action	Who will be responsible for seeing it is done?	When will it be done by?	How will we know we have achieved our objective?
N/A	N/A	N/A	N/A

12. Sign off

	Name	Position	Date
Completed by	Hasan Hasan	Engineering Manager	June 2022
Signed off by	D.W.Griffiths	Head of Engineering and Transport	June 2022

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NEATH PORT-TALBOT COUNTY BOROUGH COUNCIL
Environment, Regeneration and Streetscene Services Cabinet
Board

22nd July 2022

Report of Head of Engineering & Transport – D. W. Griffiths

Matter for Decision

Wards affected: Cymmer & Glyncorrwg

Norton Terrace Retaining Wall Reconstruction

Purpose of Report

To inform Members of the condition of Norton Terrace Retaining Wall in Glyncorrwg and the need for major maintenance works and to further seek members' approval to undertake the reconstruction works as budgeted for in the Council Capital Programme.

Executive Summary

The report outlines the need to reconstruct Norton Terrace Retaining Wall as it supports the Public Highway.

Background

Norton Terrace retaining wall is a masonry structure supporting Norton Terrace in Glyncorrwg above the Afan Corrwg. The wall is 375m in length and varies in height between 1.0m to 4.0m. The road is the only link for the properties to the rest of the village and county. It is the only access to the mine water treatment works situated further up the valley.

The road drainage system, the gas main & the main sewer run along the back of the retaining wall and should there be a substantial collapse of the wall these could be compromised. Damaged highway drainage has caused washout failures and minor collapses of the wall in the past, with localised repairs undertaken.

The existing parapet is substandard by design and there is a rotational failure of the foundations that has resulted in the parapets being out of plumb by up to 150mm with the lean towards the carriageway.

The road surfacing is also time expired and needs renewal along the full length of the wall as well as a structural reconstruction in the areas that have been washed out with the retaining wall drainage failures. Parts of the drainage system will also need renewing.

Works required

The major maintenance work that is now required to be carried out at Norton Terrace is;

- Retaining wall; rebuild the top 2.0m of the wall, repoint the remaining sections, construct plinth at base of wall to give scour protection and replace existing substandard parapet.
- Existing drainage system, redesign and relocated away from the retaining wall.
- Replace the existing kerbs and resurface the road, with structural reconstruction in washout areas.

Financial Impact

The estimate for the works is **£724K** and budgeted for in the Councils Capital Programme.

Integrated Impact Assessment

A first stage impact assessment has been undertaken to assist the Council in discharging its legislative duties (under the Equality Act 2010, the Welsh Language Standards (No.1) Regulations 2015, the Well-being of Future Generations (Wales) Act 2015 and the Environment (Wales) Act 2016.

The first stage assessment, attached at Appendix B, has indicated that a more in-depth assessment is not required. A summary is included below:-

A full impact assessment is not required, as the proposed reconstruction works will provide a benefit to the Community.

Valleys Community Impacts

There are '**No Implications**' associated with this report.

Workforce Impacts

There are '**No Implications**' associated with this report.

Legal Impacts

There are '**No Implications**' associated with this report.

Risk Management Impacts

The work needs to be carried out to prevent the full or partial collapse of the wall, footpath & potentially the adjacent road. Along with the loss of the main gas & sewerage supply for the terrace.

Consultation

There is no requirement under the Constitution for external consultation on this item.

Recommendations

Having due regard to the Integrated Impact Screening Assessment it is recommended that:

Members note the condition of Norton Terrace Retaining Wall and approve the reconstruction of the structure to current design standards as budgeted for in the Councils Capital Programme.

Reason for Proposed Decision

To manage the risks and liabilities associated with Norton Terrace Retaining Wall.

Implementation of Decision:

The decision is proposed for implementation after the three day call in period.

Appendices

Appendix A – Norton Terrace Retaining Wall - 05-006 - General Inspection December 2020.

Appendix B – Integrated Impact Assessment.

Background Papers

None.

Officer Contact

Mr. Hasan Hasan, Engineering Manager
Tel. No. 01639 686463
Email h.hasan@npt.gov.uk

5-006

NORTON TERRACE ,
GLYNCORRWG: Glyncoirwg
Division

General





Easting: 288014.73847509

Northing: 199341.485368626

Inspection Type: General		Form No.: 1 of 1		Description: Form 1					
Inspector: David Griffiths		Date: 04/12/2020 11:41		Next Inspection:					
Name: NORTON TERRACE , GLYNCORRWG (5-006)		Road Ref: Norton Terrace							
Map Ref: OS: SS88019934		Primary Str. Form:							
Width: 0.65		Length: 372		Primary Material: RC					
All Above Ground Elements Inspected: Yes		Secondary Str. Form:							
		Secondary Material:							
Set	No	Element Description	S	Ex	Def	W	P	Cost	Comments/Remarks
Main Els.	1	Foundations	1	A					Parts of the concrete foundation can be inspected.
	2	Retaining Wall (Primary)	4	D	3.7		M	£465,000	Vegetation and small tree growth causing major damage to wall structure along section length these need removal. Sections need replacing throughout its length recommend replace entire wall.
	4	concrete plinth	4	D	3.7		H	£50,000	The concrete plinth is loose and does not support the guard rail, this concrete plinth is sliding towards the river as the retaining wall below plinth has bulges and loose stonework with no support to the concrete plinth.
Durability Elements	5	Drainage	3	C	8.4		M	£10,000	Drainage pipe holes along length of wall look blocked and require repair.
	9	Handrail/parapet/safety fences	5	D	1.1		H	£170,00	Needs replacing throughout. 75% of the

Set	No	Element Description	S	Ex	Def	W	P	Cost	Comments/Remarks
Safety Element								0	parapet railings are loose and leaning towards the roadway these railings require securing.
	10	Carriageway	4	D	9.6		M	£35,000	Dip in carriageway 150mm drop causing a bow in road with longitudinal crack along road, this section of road needs reconstruction.
S- Severity ,Ex - Extent, def - Defect. W - Work Required, P - Work Priority, Cost - Cost of work									

Structure: NORTON TERRACE , GLYNCORRWG	Structure Ref: 5-006	Form: 1 of 1
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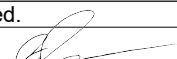
MULTIPLE DEFECTS

Element No.	S	Ex	Defect	Comments
2	4	C	5.1	Vegetation and small tree growth causing major damage to wall structure along section length these need removal.
9	5	D	1.5	75% of the parapet railings are loose and leaning towards the roadway these railings require securing.

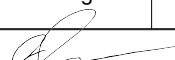
INSPECTOR'S COMMENTS

No.	Comments			Comment Type
Name		Signed		Date

ENGINEER'S COMMENTS

No.	Comments			
	It is recommended that the wall be reconstructed.			
Name	Paul Ransome	Signed		Date
				09/04/2021

WORK REQUIRED



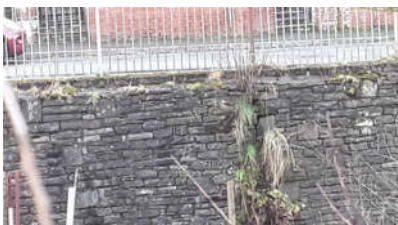
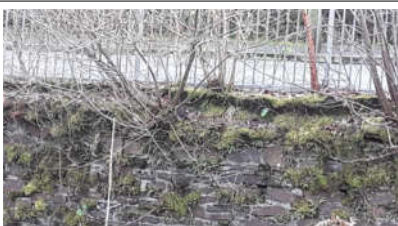
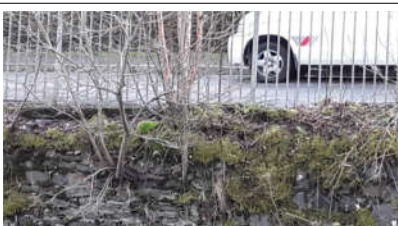
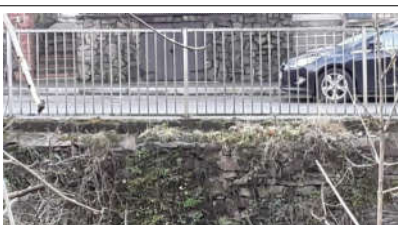
Ref No.	Item No.	Work Description	Priority	Estimated Cost	Work Ordered
MA2200044	10	Dip in carriageway 150mm drop causing a bow in road with longitudinal crack along road, this section of road needs reconstruction.	M	£35,000	
MA2200045	9	75% of the parapet railings are loose and leaning towards the roadway these railings require securing.	H	£20,000	
MA2200046	9	Needs replacing throughout	L	£150,000	
MA2200047	2	Sections need replacing throughout its length recommend replace entire wall.	M	£450,000	
MA2200048	4	The concrete plinth is loose and does not support the guard rail, this concrete plinth is sliding towards the river as the retaining wall below plinth has bulges and loose stonework with no support to the concrete plinth.	H	£50,000	
MA2200049	5	Drainage pipe holes along length of wall look blocked and require repair.	M	£10,000	
MA2200050	2	Vegetation and small tree growth causing major damage to wall structure along section length these need removal.	M	£15,000	
Name	Paul Ransome	Signed		Date	09/04/2021








Structure: NORTON TERRACE ,
GLYNCORRWG

Structure Ref: 5-006

Form: 1 of 1

PHOTOS

Inspection Item No.	Reference	Photo	Photo Description
2	2004261		Retaining Wall (Primary)
2	2004262		Retaining Wall (Primary)
2	2004263		Retaining Wall (Primary)
2	2004275		Retaining Wall (Primary)
2	2004276		Retaining Wall (Primary)
2	2004277		Retaining Wall (Primary)

Inspection Item No.	Reference	Photo	Photo Description
4	2004266		concrete plinth
4	2004267		concrete plinth
4	2004268		concrete plinth
5	2004269		Drainage
5	2004270		Drainage
5	2004271		Drainage
9	2004272		Handrail/parapet/safety fences

Inspection Item No.	Reference	Photo	Photo Description
9	2004273		Handrail/parapet/safety fences
9	2004274		Handrail/parapet/safety fences
10	2004264		Carriageway
10	2004265		Carriageway
Photo		Photo Description	File Name
		Carriageway	
		Retaining Wall (Primary)	

Photo	Photo Description	File Name
	Retaining Wall (Primary)	
	Handrail/parapet/safety fences	
	concrete plinth	
	concrete plinth	
	Retaining Wall (Primary)	
	Retaining Wall (Primary)	










Photo	Photo Description	File Name
	Handrail/parapet/safety fences	
	Retaining Wall (Primary)	
	Drainage	
	Drainage	
	concrete plinth	
	Handrail/parapet/safety fences	

Photo	Photo Description	File Name
	Retaining Wall (Primary)	
	Drainage	
	Carriageway	

Integrated Impact Assessment (IIA)

This Integrated Impact Assessment considers the duties and requirements of the following legislation in order to inform and ensure effective decision making and compliance:

- Equality Act 2010
- Welsh Language Standards (No.1) Regulations 2015
- Well-being of Future Generations (Wales) Act 2015
- Environment (Wales) Act 2016

Version Control

Version	Author	Job title	Date
0	Paul Ransome	Bridges & Highway Structures Manager	07/06/2022

1. Details of the initiative

	Title of the Initiative: Norton Terrace Retaining Wall Reconstruction
1a	Service Area: Engineering and Transport/Streetcare
1b	Directorate: Environment and Regeneration
1c	Summary of the initiative: The Reconstruction of Norton Terrace Retaining Wall, as it supports the Public Highway
1d	Is this a 'strategic decision'? No
1e	Who will be directly affected by this initiative? N/A.
1f	When and how were people consulted? If allowed to proceed. N/A.
1g	What were the outcomes of the consultation? N/A

2. Evidence

What evidence was used in assessing the initiative?

A general inspection of the wall was undertaken in December 2020, which recommended that it be reconstructed.

3. Equalities

a) How does the initiative impact on people who share a **protected characteristic**?

Protected Characteristic	+	-	+/-	Why will it have this impact?
Age			√	There is no negative impact, as the closure of the tunnel will prevent unauthorised access into the unsafe structure.
Disability			√	There is no negative impact, as the closure of the tunnel will prevent unauthorised access into the unsafe structure.
Gender reassignment			√	There is no negative impact, as the closure of the tunnel will prevent unauthorised access into the unsafe structure.
Marriage & civil partnership			√	There is no negative impact, as the closure of the tunnel will prevent unauthorised access into the unsafe structure.
Pregnancy and maternity			√	There is no negative impact, as the closure of the tunnel will prevent unauthorised access into the unsafe structure.
Race			√	There is no negative impact, as the closure of the tunnel will prevent unauthorised access into the unsafe structure.
Religion or belief			√	There is no negative impact, as the closure of the tunnel will prevent unauthorised access into the unsafe structure.
Sex			√	There is no negative impact, as the closure of the tunnel will prevent unauthorised access into the unsafe structure.
Sexual orientation			√	There is no negative impact, as the closure of the tunnel will prevent unauthorised access into the unsafe structure.

What action will be taken to improve positive or mitigate negative impacts?

No action will be taken.

b) How will the initiative assist or inhibit the ability to meet the **Public Sector Equality Duty**?

Public Sector Equality Duty (PSED)	+	-	+/-	Why will it have this impact?
To eliminate discrimination, harassment and victimisation			√	There is no negative impact, as the reconstruction of the retaining wall will ensure that the road can remain open & services to local properties can be maintained.
To advance equality of opportunity between different groups			√	There is no negative impact, as the reconstruction of the retaining wall will ensure that the road can remain open & services to local properties can be maintained.
To foster good relations between different groups			√	There is no negative impact, as the reconstruction of the retaining wall will ensure that the road can remain open & services to local properties can be maintained.

What action will be taken to improve positive or mitigate negative impacts?

No action will be taken. There is no negative impact, as the reconstruction of the retaining wall will ensure that the road can remain open & services to local properties can be maintained.

4. Socio Economic Duty

Impact	Details of the impact/advantage/disadvantage
Positive/Advantage	N/A
Negative/Disadvantage	N/A
Neutral	N/A

What action will be taken to reduce inequality of outcome
N/A

5. Community Cohesion/Social Exclusion/Poverty

	+	-	+/-	Why will it have this impact?
Community Cohesion	√			The reconstruction of the retaining wall will ensure that the road can remain open giving residents connectivity to the remainder of the village & the wider County.
Social Exclusion	√			The reconstruction of the retaining wall will ensure that the road can remain open giving residents connectivity to the remainder of the village & the wider County.
Poverty			√	There is no negative impact, as the reconstruction of the retaining wall will ensure that the road can remain open & services to local properties can be maintained.

What action will be taken to improve positive or mitigate negative impacts?

There is no negative impact, as the reconstruction of the retaining wall will ensure that the road can remain open & services to local properties can be maintained.

6. Welsh

	+	-	+/-	Why will it have this effect?
What effect does the initiative have on: – people’s opportunities to use the Welsh language			√	There is no negative impact, as the reconstruction of the retaining wall will ensure that the road can remain open & services to local properties can be maintained.
– treating the Welsh and English languages equally			√	There is no negative impact, as the reconstruction of the retaining wall will ensure that the road can remain open & services to local properties can be maintained.

What action will be taken to improve positive or mitigate negative impacts?

There is no negative impact, as the reconstruction of the retaining wall will ensure that the road can remain open & services to local properties can be maintained.

7. Biodiversity

How will the initiative assist or inhibit the ability to meet the **Biodiversity Duty**?

Biodiversity Duty	+	-	+/-	Why will it have this impact?
To maintain and enhance biodiversity			√	The reconstruction work will be designed & timed to ensure that the existing biodiversity will not be affected and if possible, enhancements will be incorporated into the design following consultation with our Biodiversity Section.
To promote the resilience of ecosystems, i.e. supporting protection of the wider environment, such as air quality, flood alleviation, etc.			√	There is no negative impact, as the reconstruction of the retaining wall will ensure that the road can remain open & services to local properties can be maintained.

What action will be taken to improve positive or mitigate negative impacts?

In liaison with the Authorities Biodiversity team, the wall will be surveyed & mitigation works put in place if needed.

8. Well-being of Future Generations

How have the five ways of working been applied in the development of the initiative?

Ways of Working	Details
i. Long term – looking at least 10 years (and up to 25 years) ahead	The long-term goal is to make the structure safe whilst ensuring that future generations are not left with the liabilities.
ii. Prevention – preventing problems occurring or getting worse	The purpose of the works is to prevent the further deterioration of the structure and the partial or full collapse of the wall.
iii. Collaboration – working with other services internal or external	The works will be carried out by the Bridges & Highway Structures Team, in liaison with NPT's Biodiversity & Network Management teams and Natural Resources Wales.
iv. Involvement – involving people, ensuring they reflect the diversity of the population	The scheme will ensure the safety of the public.
v. Integration – making connections to maximise contribution to:	The works will ensure that Norton Terrace remains open. Norton Terrace is part of the public highway but also connects onto a number of public rights of way
Council's well-being objectives	The scheme will ensure the safety of the public.
Other public bodies objectives	The scheme will ensure the safety of the public.

9. Monitoring Arrangements

Provide information on the monitoring arrangements to:

Monitor the impact of the initiative on Equalities, Community Cohesion, the Welsh Measure, Biodiversity Duty and the Wellbeing Objectives.

N/A

10. Assessment Conclusions

Please provide details of the conclusions reached in relation to each element of the assessment:

	Conclusion
Equalities	No action will be taken. There is no negative impact, as the reconstruction of the retaining wall will ensure that the road can remain open & services to local properties can be maintained.
Socio Economic Disadvantage	No action will be taken. There is no negative impact, as the reconstruction of the retaining wall will ensure that the road can remain open & services to local properties can be maintained.
Community Cohesion/ Social Exclusion/Poverty	There is no negative impact, as the reconstruction of the retaining wall will ensure that the road can remain open & services to local properties can be maintained.
Welsh	There is no negative impact, as the reconstruction of the retaining wall will ensure that the road can remain open & services to local properties can be maintained.
Biodiversity	In liaison with the Authorities Biodiversity team, the wall will be surveyed & mitigation works put in place if needed.
Well-being of Future Generations	The long-term goal is to make the structure safe whilst ensuring that future generations are not left with the liabilities.

Overall Conclusion

Please indicate the conclusion reached:

- Continue** - as planned as no problems and all opportunities have been maximised
- **Make adjustments** - as potential problems/missed opportunities/negative impacts have been identified along with mitigating actions
- **Justification** - for continuing with the initiative even though there is a potential for negative impacts or missed opportunities
- **STOP** - redraft the initiative as actual or potential unlawful discrimination has been identified

Please provide details of the overall conclusion reached in relation to the initiative

The overall conclusion for the Integrated Impact Assessment (IIA) is to Continue as planned

11. Actions

What actions are required in relation to obtaining further data/information, to reduce or remove negative impacts or improve positive impacts?

Action	Who will be responsible for seeing it is done?	When will it be done by?	How will we know we have achieved our objective?
N/A	N/A	N/A	N/A

12. Sign off

	Name	Position	Date
Completed by	Hasan Hasan	Engineering Manager	June 2022
Signed off by	D.W.Griffiths	Head of Engineering and Transport	June 2022

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Cyngor Castell-nedd Port Talbot
Neath Port Talbot Council

Report of the Head of Legal and Democratic Services

Environment, Regeneration and Streetscene Services Cabinet Board – Friday 22 July 2022

ACCESS TO MEETINGS/EXCLUSION OF THE PUBLIC

Purpose:	To consider whether the Public should be excluded from the following items of business.
Item (s):	Agenda item 15 - Proposed Release of a Restrictive Covenant and Disposal of Adjoining Land
Recommendation(s):	That the public be excluded from the meeting during consideration of the following item(s) of business on the grounds that it/they involve(s) the likely disclosure of exempt information as set out in the Paragraphs listed below of Schedule 12A of the Local Government Act 1972 as amended by the Local Government (Access to Information) (Variation) (Wales) Order 2007 subject to the Public Interest Test (where appropriate) being applied.
Relevant Paragraph(s):	14

1. Purpose of Report

To enable Members to consider whether the public should be excluded from the meeting in relation to the item(s) listed above.

Section 100A (4) of the Local Government Act 1972 as amended by the Local Government (Access to Information) (Variation) (Wales) Order 2007, allows a Principal Council to pass a resolution excluding the public from a meeting during an item of business.

Such a resolution is dependant on whether it is likely, in view of the nature of the business to be transacted or the nature of the proceedings that if members of the public were present during that item there would be disclosure to them of exempt information, as defined in section 100I of the Local Government Act 1972.

2. Exclusion of the Public/Public Interest Test

In order to comply with the above mentioned legislation, Members will be requested to exclude the public from the meeting during consideration of the item(s) of business identified in the recommendation(s) to the report on the grounds that it/they involve(s) the likely disclosure of exempt information as set out in the Exclusion Paragraphs of Schedule 12A of the Local Government Act 1972 as amended by the Local Government (Access to Information) (Variation) (Wales) Order 2007.

Information which falls within paragraphs 12 to 15, 17 and 18 of Schedule 12A of the Local Government Act 1972 as amended is exempt information if and so long as in all the circumstances of the case, the public interest in maintaining the exemption outweighs the public interest in disclosing the information.

The specific Exclusion Paragraphs and the Public Interest Tests to be applied are listed in Appendix A.

Where paragraph 16 of the Schedule 12A applies there is no public interest test. Members are able to consider whether they wish to waive their legal privilege in the information, however, given that this may place the Council in a position of risk, it is not something that should be done as a matter of routine.

3. Financial Implications

Not applicable

4. Integrated Impact Assessment

Not applicable

5. Valleys Communities Impact

Not applicable

6. Workforce Impact

Not applicable.

7. Legal Implications

The legislative provisions are set out in the report.

Members must consider with regard to each item of business the following matters.

- (a) Whether in relation to that item of business the information is capable of being exempt information, because it falls into one of the paragraphs set out in Schedule 12A of the Local Government Act 1972 as amended and reproduced in Appendix A to this report.

and either

- (b) If the information does fall within one or more of paragraphs 12 to 15, 17 and 18 of Schedule 12A of the Local Government Act 1972 as amended, the public interest test in maintaining the

exemption outweighs the public interest in disclosing the information; or

- (c) if the information falls within the paragraph 16 of Schedule 12A of the Local Government Act 1972 in considering whether to exclude the public members are not required to apply the public interest test by must consider whether they wish to waive their privilege in relation to that item for any reason.

8. Risk Management

To allow Members to consider risk associated with exempt information.

9. Recommendation(s)

As detailed at the start of the report.

10. Reason for Proposed Decision(s):

To ensure that all items are considered in the appropriate manner.

11. Implementation of Decision(s):

The decision(s) will be implemented immediately.

12. List of Background Papers:

Schedule 12A of the Local Government Act 1972

13. Appendices:

Appendix A – List of Exemptions

Appendix A

NO	Relevant Paragraphs in Schedule 12A
12	Information relating to a particular individual
13	Information which is likely to reveal the identity of an individual
14	Information relating to the financial or business affairs of any particular person (including the authority holding that information).
15	Information relating to any consultations or negotiations, or contemplated consultations or negotiations in connection with any labour relations matter arising between the authority or a Minister of the Crown and employees of, or office holders under, the authority
16	Information in respect of which a claim to legal professional privilege could be maintained in legal proceedings.
17	Information which reveals that the authority proposes: <ul style="list-style-type: none"> • To give under any enactment a notice under or by virtue of which requirements are imposed on a person, or • To make an order or direction under any enactment.
18	Information relating to any action taken or to be taken in connection with the prevention, investigation or prosecution of crime.

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By virtue of paragraph(s) 14 of Part 4 of Schedule 12A of the Local Government Act 1972.

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